

1415 COMMONWEALTH DRIVE  
WILMINGTON, NC REGION:MID-ATLANTIC

DESIGNER OF RECORD:

Table with 5 columns: DISCIPLINE, COMPANY, REPRESENTATIVE, ADDRESS, PHONE NO. Row 1: CIVIL, TOWER ENGINEERING, FREDERICK HERB, P.E., 326 TRYON RD., RALEIGH, NC 27603, 919.661.6351

OWNER:

Table with 5 columns: DISCIPLINE, CORPORATE, REPRESENTATIVE, ADDRESS, PHONE NO. Row 1: OWNER, McDONALD'S CORPORATE, LEO VAN BUUREN, 110 N. CARPENTER ST., CHICAGO IL, 919.931.2845

OWNER REPRESENTATIVE:

Table with 5 columns: DISCIPLINE, REGION, REPRESENTATIVE, ADDRESS, PHONE NO. Row 1: AREA CONST. MANAGER: MID-ATLANTIC, LEO VAN BUUREN, 4601 SIX FORKS RD, STE 200 RALEIGH, NC 27609, 919.931.2845

REGION:MID-ATLANTIC

BUILDING INFORMATION

ADDRESS

STATE SITE CODE: 32-0283  
STREET ADDRESS: 1415 COMMONWEALTH DRIVE  
CITY, STATE: WILMINGTON, NC

SITE:

MCDONALD'S SITE AREA: 1.56 AC  
DISTURBED AREA: 0.07 AC.  
ZONED: RB REGIONAL BUSINESS  
PARCEL ID: R05612-011-003-000  
EXISTING STALL COUNT: 64 STALLS  
PROPOSED STALL COUNT: 57 STALLS  
CAMA CLASSIFICATION: WATERSHED RECOURSE PROTECTION AREA

BUILDING CODE:

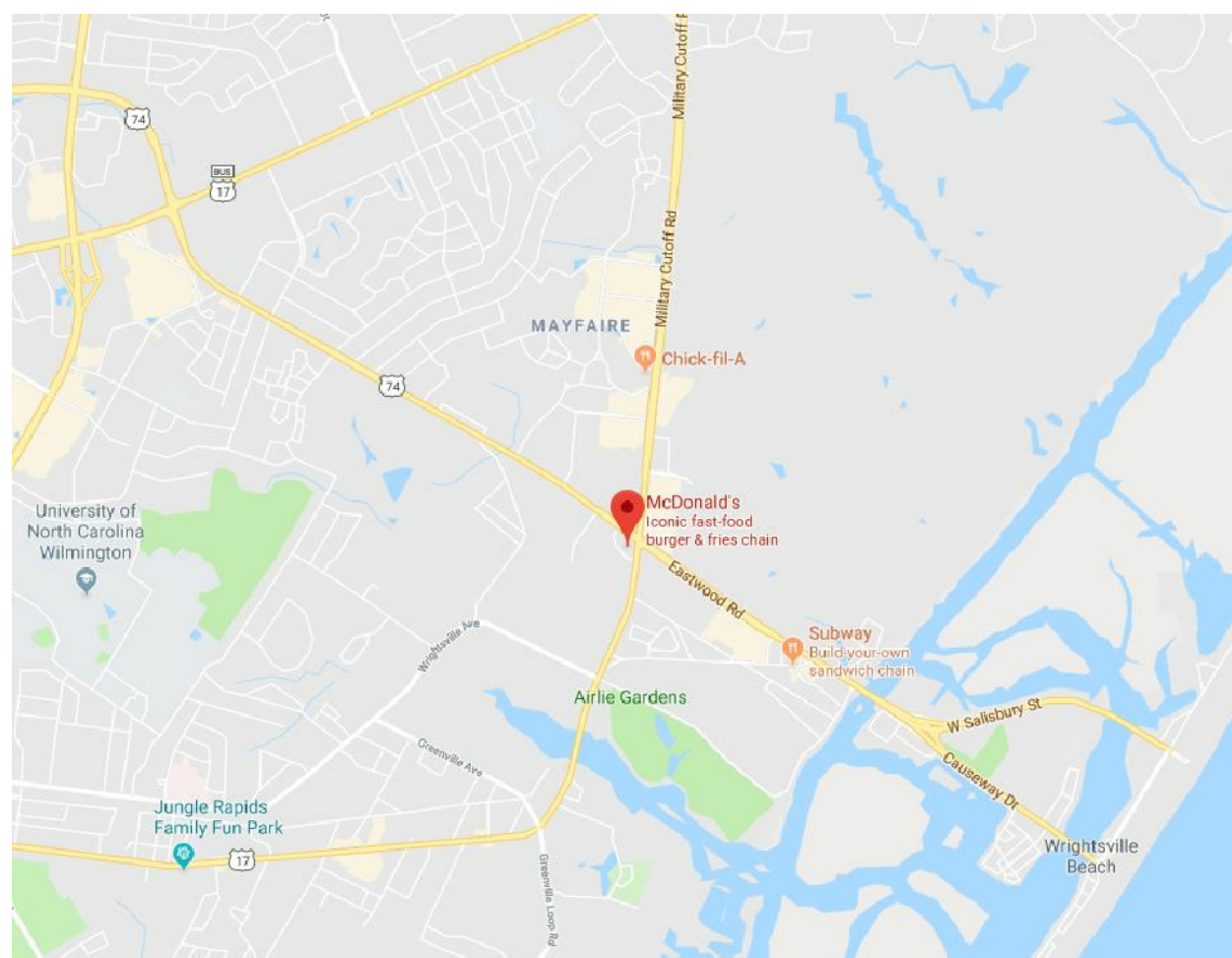
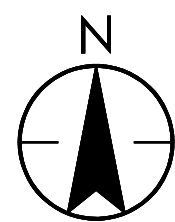
BUILDING CODE EDITION: 2012 NC BUILDING CODE  
MECHANICAL CODE EDITION: 2012 NC MECHANICAL CODE  
ELECTRICAL CODE EDITION: 2014 NATIONAL ELECTRIC CODE  
PLUMBING CODE EDITION: 2012 NC PLUMBING CODE  
ENERGY CODE EDITION: 2012 NC ENERGY CONSERVATION CODE

SCOPE OF WORK

- EXISTING McDONALD'S RESTAURANT SITE TO UNDERGO SITE IMPROVEMENTS ASSOCIATED WITH THE AMERICAN WITH DISABILITIES ACT AS WELL AS UPDATES TO APPEARANCE AND DRIVE THRU EQUIPMENT.

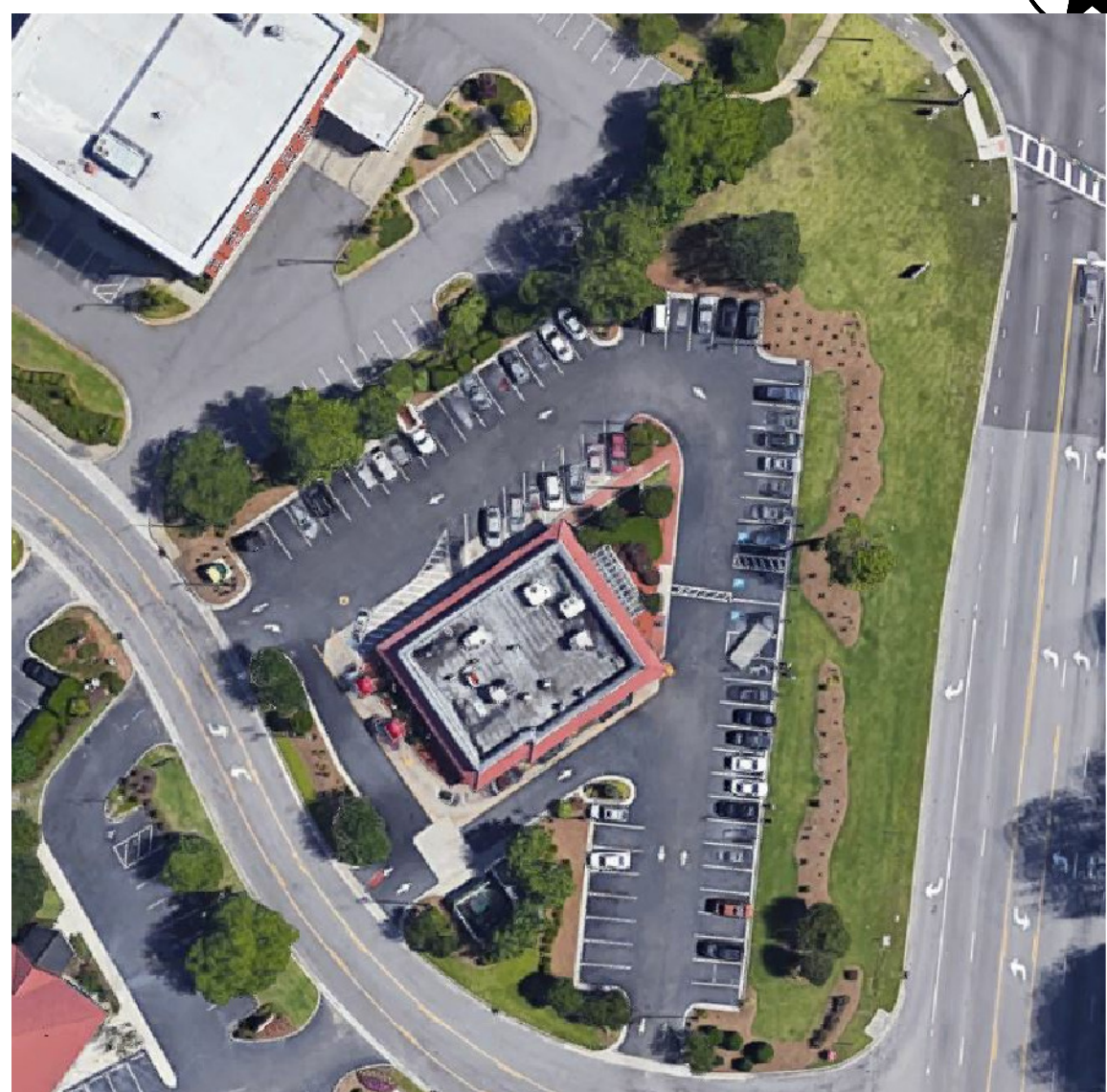
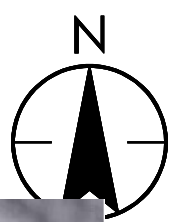
VICINITY MAP

SCALE N.T.S.



AERIAL PHOTO

SCALE N.T.S.



GENERAL CONSTRUCTION NOTES:

- ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER AND DESIGNER OF RECORD IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS SHOWN INCORRECTLY ON THESE PLANS, IF SUCH NOTIFICATION HAS NOT BEEN GIVEN AND CHANGES APPROVED.
- THIS PLAN HAS BEEN REVIEWED BY THE AUTHORITY HAVING JURISDICTION AND/OR ITS AUTHORIZED REPRESENTATIVE, BUT SUCH CHECKING AND/OR APPROVAL DOES NOT RELIEVE THE CONTRACTOR FROM THEIR RESPONSIBILITY TO CORRECT ERRORS, OMISSIONS OR MAKE CHANGES REQUIRED BY CONDITIONS DISCOVERED IN THE FIELD DURING THE COURSE OF CONSTRUCTION. MCDONALDS CONSTRUCTION MANAGER & THE AUTHORITY HAVING JURISDICTION SHALL BE INFORMED IN WRITING OF ANY CHANGES MADE DURING CONSTRUCTION PRIOR TO EXECUTION OF SAID CHANGE.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED BY THE AUTHORITY HAVING JURISDICTION(S) PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY THE APPROPRIATE PROFESSIONAL(S) PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- THE LOCATION OF EXISTING UTILITIES SHOWN HEREIN IS AN APPROXIMATION OF THEIR ACTUAL LOCATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO ASSUME ALL LIABILITY FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO PHYSICALLY LOCATE AND PRESERVE ANY AND ALL UTILITIES.
- THE CONTRACTOR SHALL NOT PERFORM ANY EXCAVATION OPERATIONS UNTIL ALL APPLICABLE UTILITY COMPANIES, COUNTY AND CITY AGENCIES HAVE BEEN NOTIFIED AND GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH THE APPROPRIATE AGENCIES, UTILITIES OR COMPANIES TO PROVIDE TEMPORARY ELECTRIC POWER, WATER SUPPLY AND SANITARY FACILITIES DURING DURATION OF CONSTRUCTION ACTIVITIES. ASSOCIATED COSTS SHALL BE INCIDENTAL TO PROJECT.
- ALL WORK SHALL BE PER OSHA AND APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
- THE CONTRACTOR SHALL SECURE ALL REQUIRED ENCROACHMENT AND/OR OTHER PERMITS FROM ALL GOVERNING AGENCIES BEFORE THE COMMENCEMENT OF WORK. CONTRACTOR SHALL MINIMIZE INTERFERENCE WITH ADJOINING ROADS, STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES. STREETS, WALKS OR OTHER ADJACENT OCCUPIED OR USED FACILITIES SHALL NOT BE CLOSED OR OBSTRUCTED WITHOUT PERMISSION FROM AUTHORITIES HAVING JURISDICTION; ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS SHALL BE PROVIDED IF REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORK HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER, ARCHITECT, AND ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE FOR THE OWNER, ARCHITECT, OR ENGINEER. THE ENGINEER ASSUMES NO RESPONSIBILITY EXCEPT FOR THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- ALL GRADING TO BE IN ACCORDANCE WITH LOCAL ADOPTED CODES AND ASTM D1557.
- THE SITE SHALL BE EITHER UNIFORMLY GRADED BETWEEN POINTS WHERE ELEVATIONS ARE GIVEN, BETWEEN SUCH POINTS AND EXISTING FINISHED GRADES, OR CONFORM POINTS; SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. IT SHALL COMPLY WITH THE GEOTECHNICAL'S REPORT COMPACTION REQUIREMENTS AND BE SLOPED TO DIRECT WATER AWAY FROM THE BUILDING AND TO PREVENT PONDING.
- ALL GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION, KEPT FREE FROM TRASH AND WEEDS AND EMPLOYEE SEDIMENTATION CONTROL SYSTEMS. PRIOR TO COMPLETION OF THE PROJECT THE CONTRACTOR SHALL RESTORE ALL GRADED AREAS TO THEIR SPECIFIED TOLERANCES.
- PRIOR TO PLACING AGGREGATE BASE OR PAVEMENT, THE SUBGRADE SHALL BE TREATED WITH A SOILS STERILIZATION TYPE WEED KILLER (EPA-REGISTERED) AND TERMITE CONTROL WHERE REQUIRED.
- CONTRACTOR IS RESPONSIBLE FOR RESETTING EXISTING MONITORING WELLS, MANHOLES, CLEAN-OUTS AND ANY OTHER STRUCTURE TO FINISH GRADE AS NECESSARY.
- ALL NEW ASPHALT PAVING AND CONCRETE WORK SHALL MATCH THE EXISTING GRADES AT LIMITS OF WORK. SLOPE AWAY FROM BUILDINGS.
- REPLACE EXISTING ASPHALT PAVING AND/OR CONCRETE AS REQUIRED DUE TO NEW CONSTRUCTION INSTALL NEW PAVING PER PLAN AND/OR McDONALD'S SPECIFICATIONS.
- EXISTING ASPHALT PAVING AND/OR CONCRETE SHALL BE CUT TO A NEAT, STRAIGHT LINE (WHEN APPLICABLE). ALL EXPOSED VERTICAL SURFACES SHALL BE TACKED COATED BELOW FINISH GRADE LINE WITH ASPHALT EMULSION PRIOR TO PAVING.
- ALL NEW CONCRETE PAVING SHALL BE SEALED. JOINT SEALANT SHALL BE APPLIED TO ALL EXPANSIONS AND ISOLATION JOINTS; AND CONTROL JOINTS IN DRIVE SLABS.
- 'SAW-CUTTING' TO CREATE CONTROL JOINTS SHALL BE DONE WITHIN 1 TO 4 HOURS (PENDING TEMPERATURE) AFTER THE HARDENING SUFFICIENTLY, TO PREVENT RAVELING OR DISLODGING OF AGGREGATES, OF THE CONCRETE.
- UNLESS OTHERWISE NOTED, ALL CURBS SHALL HAVE A 6" CURB FACE.
- ASPHALT PRIME COAT SHALL BE APPLIED TO THE COMPACTED AGGREGATE BASE PRIOR TO PLACING ASPHALTIC CONCRETE. THE RATE OF APPLICATION SHALL BE BETWEEN 0.2 AND 0.5 GALLONS PER SQUARE YARD.
- ASPHALT TACK COAT SHALL BE APPLIED BELOW FINISHED GRADE TO ALL VERTICAL SURFACES IN CONTACT WITH THE ASPHALT PAVEMENT AND TO THE SURFACE OF THE BASE COURSE WITH FINISH COURSE PLACED ON DIFFERENT DAYS. TACK COAT SHALL BE APPLIED AT A RATE BETWEEN 0.05 AND 0.015 GALLONS PER SQUARE YARD.
- SEAL COAT SHALL BE APPLIED TO ALL NEW ASPHALTIC PAVEMENT PER MANUFACTURER SPECIFICATIONS AND MCDONALDS PROJECT MANUAL.
- ANY WORK THAT IMPACTS ACCESSIBILITY SHALL BE RESTORED TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL ADOPTED CODES; MOST STRICT SHALL APPLY.

DRAWING INDEX

REVISIONS

Table with 4 columns: No., Description, Date, By

C1.0 COVER SHEET

CIVIL

- C2.0 EXISTING SITE CONDITIONS/DEMO PLAN
- C3.0 SITE PLAN
- C4.0 ACCESSIBILITY PLAN
- C5.0 GRADING/EROSION PLAN
- C6.0 DRIVE THRU PLAN AND DETAILS
- C7.0 DETAILS
- C8.0 SITE FOUNDATIONS
- C9.0 CITY DETAILS

LANDSCAPING NOTES, WHERE APPLICABLE:

GENERAL

- CONTRACTOR IS TO CONDUCT A FIELD REVIEW AND BE FAMILIAR WITH ALL EXISTING AND PROPOSED UTILITIES AND SUBSURFACE FEATURES PRIOR TO START OF WORK. SEE ARCHITECTURAL, SITE AND CIVIL PLANS.
- ALL MATERIALS AND EQUIPMENT SHALL BE PROVIDED AND INSTALLED AS SHOWN IN THE DETAILS AND AS DESCRIBED IN THE SPECIFICATIONS, EXCEPT AS NOTED OTHERWISE.
- ALL UTILITIES, EXISTING IRRIGATION AND NON-IMPACTED LANDSCAPING SHALL BE PRESERVED AND PROTECTED IN PLACE. EXISTING REMOTE CONTROL VALVES SERVICING ADJACENT AREAS MUST REMAIN IN OPERATION DURING THE COURSE OF THE PROJECT. SHOULD THERE BE ANY DISRUPTION IN WATER SERVICE AS RESULT OF THIS WORK AND PLANTS IN ADJACENT AREAS DIE, THE CONTRACTOR WILL BE RESPONSIBLE TO REPLACE PLANTS IN LIKE KIND. THEREFORE THE CONTRACTOR MAY BE REQUIRED TO HOOK UP TEMPORARY IRRIGATION OR HAND WATER FOR THE DURATION UNTIL PERMANENT REPAIRS CAN BE MADE.
- THE CONTRACTOR IS REQUIRED TO VERIFY AND PROVIDE THE QUANTITY OF MATERIALS SHOWN ON THE LANDSCAPE PLANS. QUANTITIES IN THE LANDSCAPE LEGENDS ARE MERELY A GUIDE FOR ESTIMATING. THEREFORE QUANTITIES SHOWN ON THE LANDSCAPE PLANS TAKE PRECEDENCE OVER QUANTITIES LISTED IN THE LEGENDS.
- CONTRACTOR SHALL CONFIRM IF CITY CERTIFICATION OF THE LANDSCAPE INSTALLATION IS REQUIRED, CONTRACTOR TO CONTACT THE AUTHORITY UNDER JURISDICTION 48 HOURS PRIOR TO COMPLETION OF INSTALLATION WORK TO ARRANGE FOR THE REQUIRED SITE REVIEW AS PART OF THIS CERTIFICATION. ALL WORK TO BE PER PLANS AND ANY MODIFICATIONS SHALL BE APPROVED BY MCDONALDS CONSTRUCTION MANAGER PRIOR TO IMPLEMENTATION.
- ALL CONSTRUCTION WASTE TO BE RECYCLED AS APPROPRIATE.
- OBTAIN ALL MATERIALS LOCALLY (WITHIN 50 MILES) AS POSSIBLE.
- REFER TO ARCHITECTURAL AND CIVIL PLANS FOR DESCRIPTIONS OF ELEMENTS NOT IDENTIFIED ON THIS PLAN.
- PERMANENTLY SEED AND MULCH CUT SLOPES AS EXCAVATION PROCEEDS TO THE EXTENT CONSIDERED DESIRABLE AND PRACTICAL.
- UNLESS REQUIRED WITHIN A SHORTER TIME FRAME BY THE AUTHORITY UNDER JURISDICTION, SLOPES THAT ERODE EASILY OR THAT WILL NOT BE GRADED FOR A PERIOD OF 14 DAYS OR MORE, SHALL BE TEMPORARILY STABILIZED AS WORK PROGRESSES WITH VEGETATION OR OTHER ACCEPTABLE MEANS UNLESS OTHERWISE SPECIFIED HEREIN THE CONSTRUCTION DOCUMENTS.

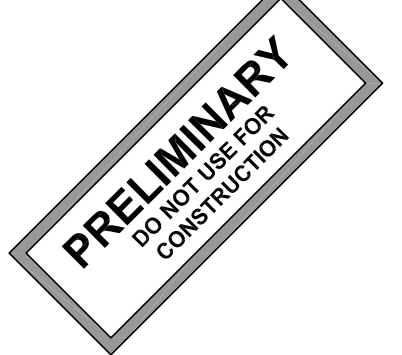
PLANTING

- SET PLANTS IN PITS OR BEDS, PARTLY FILLED WITH PREPARED PLANT MIX, AT A MINIMUM DEPTH OF 6 INCHES UNDER EACH PLANT. REMOVE BURLAP, ROPES AND WIRES FROM THE ROOT BALL.
- MINIMUM SETBACKS DISTANCES FOR TREE PLANTING SHALL BE PER AUTHORITY UNDER JURISDICTION AND TAKE INTO ACCOUNT CLEAR SIGHT LINES FOR VEHICLES ENTERING OR EXITING THE SITE.
- ALL SURFACE AND SUB-SURFACE DRAINAGE STRUCTURES SHALL BE MAINTAINED. CONTRACTOR TO IDENTIFY EXISTING PAVED AREAS BEING CONVERTED INTO PLANTING BEDS AND NEW PLANTER BED SURROUNDED BY PAVEMENT OR STRUCTURES AND SHALL DECOMPACT SOILS AS APPLICABLE. EXCAVATE PLANTER BED TO A MINIMUM DEPTH OF 16". REMOVE FOREIGN MATERIALS, WEEDS AND UNDESIRABLE PLANTS AND THEIR ROOTS. REMOVE CONTAMINATED SUBSOIL. SOIL SHALL BE DISCARDED OFF-SITE. UNIFORMLY FILL PLANTERS WITH NATIVE SOIL OR COMPATIBLE TOPSOIL TO WITHIN 1-1/2" OF TOP OF CURB. COMPACT TO 85%. REPLACE AND CONDITION SOIL PER GEOTECHNICAL REPORT.
- EXISTING LANDSCAPING TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION. TREES TO REMAIN SHALL BE PROTECTED PER ISA OR AGENCY REQUIREMENTS. GRADING AND TRENCHING WITHIN DRIPLINES OF EXISTING PLANTS SHALL BE LIMITED AND DONE MANUALLY. GRADING/TRENCHING WITHIN THE DRIPLINE OF TREES SHALL BE WORKED ON UNDER THE SUPERVISION OF AN ARBORIST. BEYOND DRIPLINE, NO ROOTS LARGER THAN 1 1/2" SHALL BE CUT WITHOUT ARBORIST SUPERVISION AND APPROVAL.
- IF THERE ARE EXISTING LANDSCAPE AREAS TO REMAIN: SURFACE IN THESE AREAS TO BE CLEANED FREE OF WEEDS, LITTER, DEBRIS, ETC. REPLACE DEAD, DAMAGED, OR MISSING PLANTS WITH SPECIMENS OF SIMILAR MATERIAL.
- NO LANDSCAPING OF ANY TYPE SHALL BE PLACED WITHIN THREE (3) FEET OF ANY FIRE HYDRANT, FIRE SUPPRESSION SYSTEM CONTROL VALVE, OR ANY TYPE OF FIRE RELATED CONTROL DEVICE. PLANTS SHALL BE SELECTED FOR THIS AREA THAT WILL NOT ENCROACH UPON THIS THREE (3) FOOT RADIUS.
- SYMBOL FOR GROUND COVER IS SCHEMATIC AND IS NOT SHOWN UNDER SHRUBS AND TREES FOR CLARITY. CONTRACTOR TO INSTALL UNDER SHRUBS AND TREES TO FILL ENTIRE PLANTER BED. QUANTITY IN LEGEND IS A GUIDE AND SHALL BE VERIFIED/DETERMINED BY GENERAL CONTRACTOR.
- SEE MCDONALD'S PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.



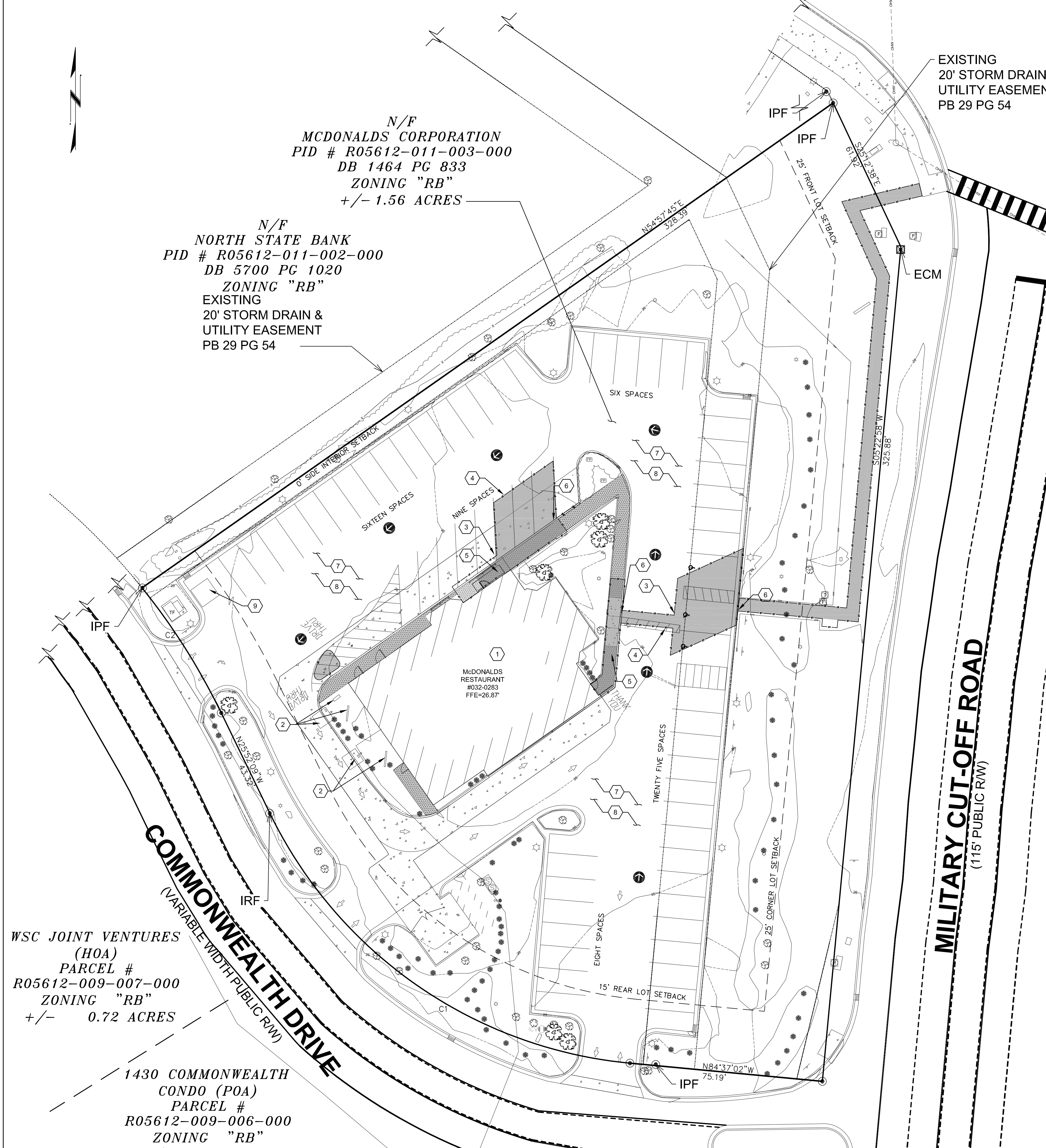
IF YOU DIG IN NORTH CAROLINA... CALL US FIRST! 1-800-632-4949 NORTH CAROLINA ONE CALL IT'S THE LAW

APPROVED CONSTRUCTION PLAN NAME DATE  
PLANNING TRAFFIC FIRE  
WILMINGTON NORTH CAROLINA  
Public Services Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: \_\_\_\_\_  
BY: \_\_\_\_\_  
ISSUE: \_\_\_\_\_  
DATE: 11-19-18  
REV: 0  
DESCRIPTION: \_\_\_\_\_



McDonald's  
THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.  
OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

Table with 3 columns: PLAN APPROVAL, STATUS, DATE, BY



**DEMOLITION KEY NOTES:**

- ① EXISTING McDONALD'S BUILDING. SEE BUILDING PLANS FOR DETAILS
- ② REMOVE DRIVE THRU COMPONENTS (MENU BOARD, COD, ETC.) - SALVAGE EQUIPMENT FOR POSSIBLE REUSE - COORDINATE WITH A.C.M.
- ③ SAW-CUT AND REMOVE ASPHALT AND/OR CONCRETE (TYP. WITHIN LIMITS OF DISTURBANCE)
- ④ LIMITS OF DISTURBANCE ARE APPROXIMATE. SITE CONTRACTOR TO MODIFY LIMITS OF DISTURBANCE AS REQUIRED TO ENSURE SMOOTH TRANSITIONS AND PROPER DRAINAGE.
- ⑤ EXTERIOR WALKWAY TO BE REMOVED ALONG BUILDING (TYP. UNLESS OTHERWISE NOTED) WITHIN LIMITS OF DISTURBANCE
- ⑥ REMOVE CURBING OR CURB & GUTTER (TYP. WITHIN LIMITS OF DISTURBANCE UNLESS INDICATED OTHERWISE)
- ⑦ EXISTING PARKING LOT STRIPING THAT WILL NOT BE USED AND IS NO LONGER NEEDED TO MEET LOT STRIPING GUIDELINES IS TO BE REMOVED COMPLETELY IN PREPARATION FOR SEAL AND STRIPE - REMOVAL TO BE DONE BY MEANS OF GRINDING, MILLING, SAND BLASTING, ETC. - THE USE OF BLACKOUT PAINT IS NOT PERMITTED - REMOVAL INCLUDED IN BID.
- ⑧ PROTECT EXISTING UNDERGROUND UTILITIES AND UTILITY SERVICES TO REMAIN - CONTRACTOR TO COORDINATE WITH ALL APPLICABLE UTILITY COMPANIES AS REQUIRED TO ENSURE PROPER SHUT DOWN TO DEMOLITION WORK
- ⑨ EXISTING RECYCLING DUMPSTER TO REMAIN

**GENERAL SITE NOTES:**

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS.
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN TITLE BLOCK.
12. G.C. TO PROTECT ALL OFF-SITE PAVING/CURBING FROM CHIPPING OR BREAKING DURING ALL DEMOLITION WORK. PATCH/REPAIR ANY EXISTING ITEMS DAMAGED DURING DEMOLITION AND/OR CONSTRUCTION AT NO COST TO THE OWNER.

**PROGRESS POINT ONE  
A COA INC  
PARCEL #  
R05700-001-002-000  
ZONING "CB"  
+/- 2.5 ACRES**

AREA TO BE DISTURBED = 3,010 SQ. FEET  
EXISTING BUILDING FOOTPRINT = 5,114 SQ. FEET

CURVE TABLE				
CURVE #	LENGTH	RADIUS	BEARING	CHORD
C1	178.24'	173.83'	N55°14'35"W	170.53'
C2	57.74'	255.00'	N32°20'12"W	57.62'

**LEGEND**

- PROPERTY LEASE CORNER
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- F.F.E. = XXXXX FINISH FLOOR ELEVATION
- T TELEPHONE LINE
- W WATER LINE
- OHW OVERHEAD UTILITIES
- E UNDERGROUND ELECTRICAL
- SS SANITARY SEWER
- RD ROOF DRAIN
- RW RIGHT OF WAY
- S SANITARY SEWER MANHOLE
- TF TRANSFORMER
- INLET
- POWER POLE
- WATER VALVE
- SIGN
- BOLLARD
- POLE MOUNTED AREA LIGHT
- FIRE HYDRANT
- ACCESSIBLE STALL
- FP FLAG POLE
- ⊗ DEMO KEY NOTE
- DRIVE THRU DIRECTIONAL ARROW
- DRIVE THRU WITH DIRECTIONAL ARROW
- TRAFFIC/LOT FLOW ARROW
- ☐ CANOPY WITH COD AND DETECTOR LOOP
- ☐ OPO MENU BOARD
- ☐ GREASE TRAP
- WOOD/TREE LINE
- SF SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
- LD LIMITS OF DISTURBANCE
- SC INLET PORTION. SEE DETAIL SHEETS FOR METHODS
- TPF TREE PORTION. SEE DETAIL SHEETS FOR METHODS

SCALE: 1" = 20'-0"  
SCALE IN FEET

**WSC JOINT VENTURES  
(HOA)  
PARCEL #  
R05612-009-007-000  
ZONING "RB"  
+/- 0.72 ACRES**

**1430 COMMONWEALTH  
CONDO (POA)  
PARCEL #  
R05612-009-006-000  
ZONING "RB"**

EXISTING PARKING INFORMATION	
3	HANDICAP SPACES 9' X 19' @ 90°
52	SPACES 9' X 19' @ 90°
9	SPACES 9' X 19' @ 60°
TOTAL SPACES: 64	
STREET ADDRESS: 1415 COMMONWEALTH DRIVE	
CITY: WILMINGTON	STATE: NORTH CAROLINA
COUNTY: NEW HANOVER	
PARCEL ID: R05612-011-003-000	LOCATION CODE NUMBER: 32-0283
TEP PID: 92723	FEMA MAP NUMBER: 3720315700K
FLOOD ZONE: X	FEMA MAP DATE: 8/28/2018

APPROVED CONSTRUCTION PLAN

PLANNING: TRAFFIC, FIRE

WILMINGTON Public Services Engineering Division

APPROVED PLAN - NO PERMIT REQUIRED

REV	DATE	DESCRIPTION	ISSUED BY
0	11-19-18	FIRST ISSUE	

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # P-1403

**PRELIMINARY**  
DO NOT USE FOR CONSTRUCTION

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

DATE	PLAN APPROVAL	STATUS	DATE	BY
	SIGNATURE (2 REQUIRED)	FINAL	-	-
	REGIONAL MGR.	PLAN CHECKED	-	-
	REGIONAL DEPT. DIRECTOR	AS-BUILT	-	-
	REGIONAL CONSTRUCTION MGR.			
	REGIONAL REAL ESTATE MGR.			
	CO-SIGN SIGNATURES			
	AREA CONSTRUCTION MGR.			
	CONTRACTOR			

C-2  
EXISTING CONDITIONS/  
DEMO SITE PLAN

**SITE KEY NOTES:**

- 1 EXISTING McDONALDS RESTAURANT SEE BUILDING PLANS FOR DETAILS
- 2 EXISTING TANDEM DRIVE THRU OPTIMIZED AT 80 FT.
- 3 MENU BOARD (PER DETAIL SHEET) - GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH A.C.M.
- 4 CUSTOMER ORDER DISPLAY WITH DETECTOR LOOP AND DRIVE THRU CANOPY (PER DETAIL SHEET) - GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH A.C.M.
- 5 PRE BROWSE BOARD GALVANIZED ANCHOR BOLTS (6" ABOVE GRADE), FOOTING AND ELECTRICITY BY GENERAL CONTRACTOR, SIGN INSTALLED BY SIGN CONTRACTOR, CONTRACTOR TO COORDINATE WITH A.C.M.
- 6 INSTALL DETECTOR LOOPS AT EACH DRIVE THRU WINDOW PER DETAIL SHEET - REPAIR/REPLACE CONCRETE AS REQUIRED (VERIFY)
- 7 CONSTRUCT CURBING OR CURB/GUTTER - TIE INTO EXISTING ADJACENT CURBING WHERE APPLICABLE (NOTE: REPAIR EXISTING CURBING DESIGNATED TO REMAIN AS REQUIRED - VERIFY CURB REPAIR LOCATION(S) WITH ACM AND O/O)
- 8 CONSTRUCT CONCRETE PAD AT RELOCATED ACCESSIBLE PARKING SPACE(S) / AISLE(S) - INSTALL ASSOCIATED SIGNAGE PER CODE
- 9 CONSTRUCT CONCRETE ACCESSIBLE RAMP
- 10 CONSTRUCT BROOM FINISHED CONCRETE WALKWAY PER McDONALD'S SPECIFICATIONS
- 11 CONCRETE ACCESSIBLE CROSSWALK - PAINT PER McDONALD'S SPECIFICATIONS
- 12 EXISTING ROAD SIGN TO REMAIN
- 13 PIPE BOLLARD
- 14 TRASH CORRAL AND COVERED STORAGE BUILDING, PAINT TO MATCH PROPOSED COLOR SCHEME. SEE BUILDING PLANS FOR COLOR SPECIFICATIONS
- 15 ASPHALT PAVEMENT - PATCH AND REPAIR EXISTING ASPHALT AS REQUIRED AND RESURFACE LOT BY ON OF THE FOLLOWING MEANS:  
OPTION A - SEAL COAT ENTIRE LOT AND RESTRIPE  
OPTION B - MILL EDGES AND INSTALL NEW ASPHALT TOP COAT - RESTRIPE LOT
- 16 RESTRIPE LOT AS SHOWN - PAINT 4" WIDE STRIPE, WHITE (TYP.)
- 17 PAINT 4" WIDE STRIPE, WHITE, @ 45' 2"-0" O.C.
- 18 PAINT DRIVE THRU DIRECTIONAL ARROW
- 19 PAINT "DRIVE THRU" WITH DIRECTIONAL ARROW
- 20 PAINT TRAFFIC FLOW ARROW
- 21 PAINT 6" WIDE STRIPE ON OUTSIDE OF DRIVE THRU LANE
- 22 PROVIDE TWO (2) PARKING STALLS WITH McDONALD'S APPROVED SIGNAGE FOR DRIVE THRU. PAINT 4" WIDE STRIPE, YELLOW
- 23 EXISTING GREASE TRAP TO REMAIN
- 24 PAINT "THANK YOU" PER McDONALD'S SPECIFICATIONS
- 25 PROPOSED GUARD RAIL, INSTALL PER MANUFACTURERS SPECIFICATIONS
- 26 EXISTING RECYCLING DUMPSTER TO REMAIN
- 27 CONSTRUCT BROOM FINISHED CONCRETE BIKE PARKING PER CITY OF WILMINGTON DETAIL  
PROPOSED BUILDING FOOTPRINT = 5,062 SQ. FEET  
BUILDING LOT COVERAGE = 5062/68235 = 7.4%

PROJECT INFORMATION	
ZONING	CITY OF WILMINGTON: ZONED RB (REGIONAL BUSINESS)
PARKING/STACKING	VEHICLE PARKING: MIN: 1 SPACE PER 4 SEATS OR 1 SPACE PER 80 SQ FT EXCLUDING KITCHEN AND RESTROOM FACILITIES (96 SEATS/4 = 24 SPACES REQUIRED OR 1775 SQ FT/ 80 = 22 SPACES (24 REQUIRED)) MAX: 1 SPACE PER 2.5 SEATS OR 1 SPACE PER 65 SQ FT EXCLUDING KITCHEN AND RESTROOM FACILITIES (96 SEATS/2.5 = 39 SPACES OR 1775 SQ FT/ 65 = 27 SPACES (39 MAX.))
SETBACKS	25 FT FRONT 15 FT REAR 0 FT SIDE (INTERIOR LOT) 25 FT SIDE (CORNER LOT)

**N/F  
MCDONALDS CORPORATION  
PID # R05612-011-003-000  
DB 1464 PG 833  
ZONING "RB"  
+/- 1.56 ACRES**

**N/F  
NORTH STATE BANK  
PID # R05612-011-002-000  
DB 5700 PG 1020  
ZONING "RB"  
EXISTING  
20' STORM DRAIN &  
UTILITY EASEMENT  
PB 29 PG 54**

CURVE TABLE				
CURVE #	LENGTH	RADIUS	BEARING	CHORD
C1	178.24'	173.83'	N55°14'35"W	170.53'
C2	57.74'	255.00'	N32°20'12"W	57.62'

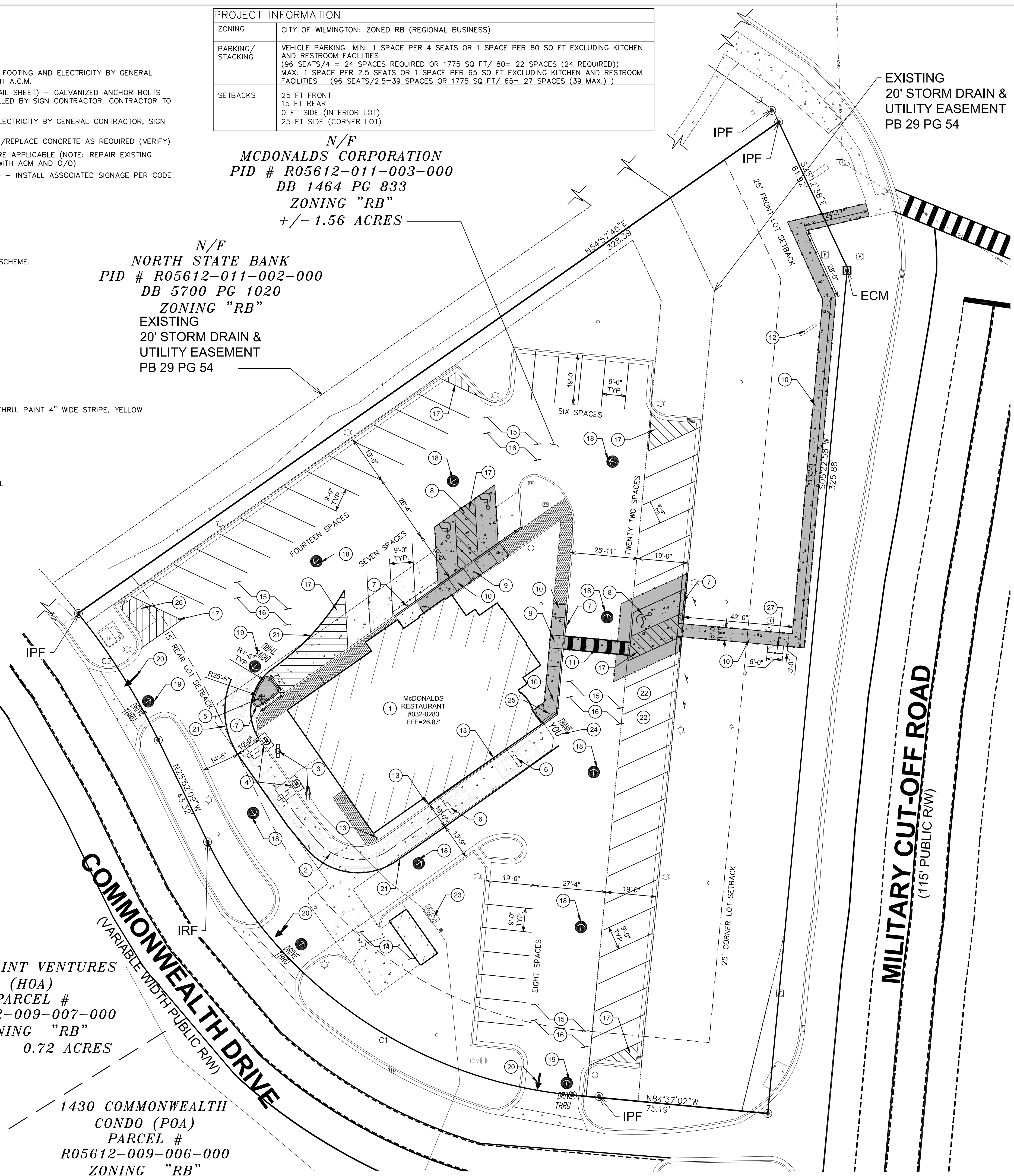
**CITY OF WILMINGTON NOTES:**

1. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
2. CALL TRAFFIC ENGINEERING AT 910-341-7888 FORTY-EIGHT (48) HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
3. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING PRIOR TO ACTUAL STRINGING.
4. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE.
5. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER.
6. TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
7. CONTACT KAREN DIXON AT 910-341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
8. WATER AND SEWER SERVICE SHALL MEET CAPE FEAR PUBLIC UTILITY AUTHORITY (CFPUA) DETAILS AND SPECIFICATIONS.
9. IF THE CONTRACTOR DESIRES CFPUA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
10. CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
11. CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
12. CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY, DIGGING, CLEARING, OR GRADING.

LEGEND	
(X) SITE KEY NOTE	PROPERTY LINE
(X) PARKING SPACE COUNT	SIGN
(G) DRIVE THRU DIRECTIONAL ARROW	BOLLARD
(G) "DRIVE THRU" WITH DIRECTIONAL ARROW	SETBACK LINE
(G) TRAFFIC LOT FLOW ARROW	TRANSFORMER
(H) HANDICAP STALL	CANOPY WITH COD AND DETECTOR LOOP
(H) EX FIRE HYDRANT	OPO MENU BOARD
RD ROOF DRAIN	FP-43 MENU BOARD
SS SANITARY SEWER LINE	GREASE TRAP
UGE UNDERGROUND ELECTRICAL	FLAG POLE
W WATER LINE	CURB INLET
G GAS LINE	POWER POLE
OHP OVERHEAD POWER LINE	PROPERTY CORNER
F.F.E. = XXXXX FINISH FLOOR ELEVATION	TELEPHONE PEDESTAL
(S) POLE MOUNTED AREA LIGHT	

**WSC JOINT VENTURES  
(HOA)  
PARCEL #  
R05612-009-007-000  
ZONING "RB"  
+/- 0.72 ACRES**

**1430 COMMONWEALTH CONDO (POA)  
PARCEL #  
R05612-009-006-000  
ZONING "RB"**

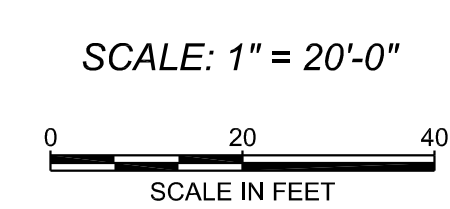


**EXISTING  
20' STORM DRAIN &  
UTILITY EASEMENT  
PB 29 PG 54**

**MILITARY CUT-OFF ROAD  
(115' PUBLIC R/W)**

**COMMONWEALTH DRIVE  
(VARIABLE WIDTH PUBLIC R/W)**

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. THE LOCATIONS OF ALL UTILITIES SHOWN ON THESE PLANS ARE BASED ON THE AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES WITH THE UTILITY OWNERS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. PRIOR TO STARTING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED ALL PLANS AND ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING AND ANY OTHER REGULATORY AUTHORITIES. FAILURE OF THE CONTRACTOR TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF THE WORK MANDATED BY ANY REGULATORY AUTHORITY. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
4. THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS. ACCESS SHALL BE LIMITED UNTIL PERMISSION IS GRANTED.
5. CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY, AND ADJOINING PROPERTY PROTECTED FROM DAMAGE.
6. CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONTRACT LIMITS DUE TO CONSTRUCTION OPERATIONS.
7. BEFORE COMMENCEMENT OF WORK, THE CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHO PREPARED THE PLANS OF ANY DISCREPANCIES THAT MAY REQUIRE MODIFICATIONS TO THESE PLANS OR OF ANY FIELD CONFLICTS.
8. ALL PERMITS RELATIVE TO THE PROJECT MUST BE OBTAINED, PRIOR TO CONSTRUCTION. ALL CONSTRUCTION TO BE IN ACCORDANCE WITH PERMITS ISSUED AND APPLICABLE STATE, COUNTY AND LOCAL CODES.
9. ALL WORK IN RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH "THE CURRENT EDITION OF THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS".
10. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE OWNER AND DESIGN PROFESSIONAL HARMLESS OF ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR DESIGN PROFESSIONAL.
11. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN TITLE BLOCK



PROPOSED PARKING INFORMATION	
TOTAL SPACES	57
3 HANDICAP SPACES	9' X 19' @ 60'
14 SPACES	9' X 19' @ 90'
40 SPACES	9' X 19' @ 60'

STREET ADDRESS	
1415 COMMONWEALTH DRIVE	
CITY	STATE
WILMINGTON	NORTH CAROLINA
COUNTY	
NEW HANOVER	
PARCEL ID	
R05612-011-003-000	
LOCATION CODE NUMBER	
32-0283	
TEP PID	
92723	
FLOOD ZONE	
X	
FEMA MAP NUMBER	
3720315700K	
FEMA MAP DATE	
8/28/2018	

APPROVED CONSTRUCTION PLAN NAME DATE

PLANNING TRAFFIC FIRE

WILMINGTON Public Services Engineering Division APPROVED PLAN - NO PERMIT REQUIRED

Signature: \_\_\_\_\_

REV	DATE	DESCRIPTION
0	11-19-18	FIRST ISSUE

TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
RALEIGH, NC 27603  
OFFICE: (919) 661-6351  
www.tepgroup.net  
N.C. LICENSE # P-1403

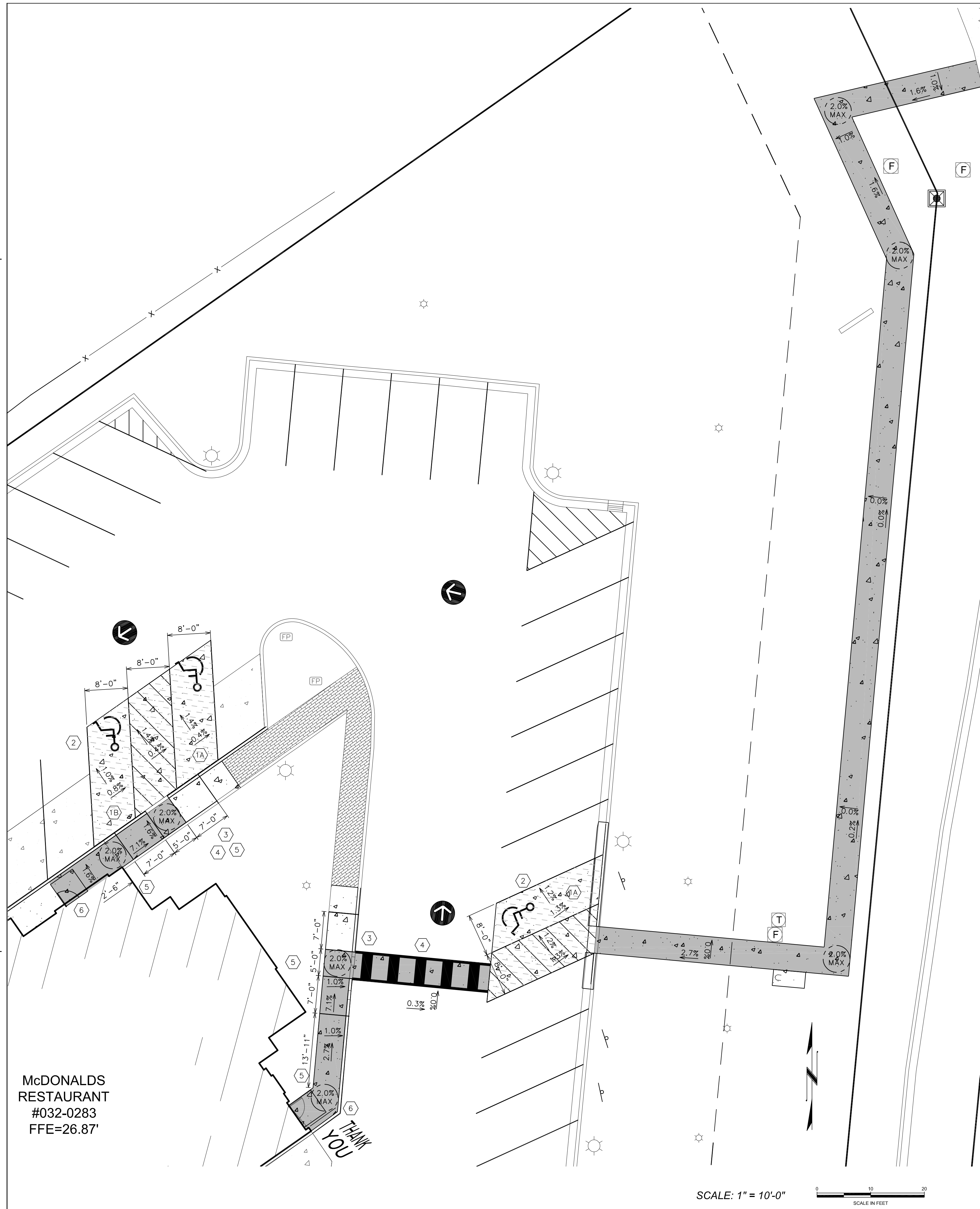
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DO NOT USE FOR CONSTRUCTION

McDonald's  
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OFFICE ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

DATE	PLAN APPROVAL	DATE	STATUS	DATE	BY
	SIGNATURE (2 REQUIRED)		FINAL		
	REGIONAL MGR. DIRECTOR		PLAN CHECKED		
	REGIONAL DEPT. DIRECTOR		AS-BUILT		
	REGIONAL CONSTRUCTION MGR.				
	REGIONAL REAL ESTATE MGR.				
	CO-SIGN SIGNATURES				
	AREA CONSTRUCTION MGR.				
	CONTRACTOR				

C-3  
SITE PLAN



McDONALDS  
RESTAURANT  
#032-0283  
FFE=26.87'

THANK YOU

SCALE: 1" = 10'-0"

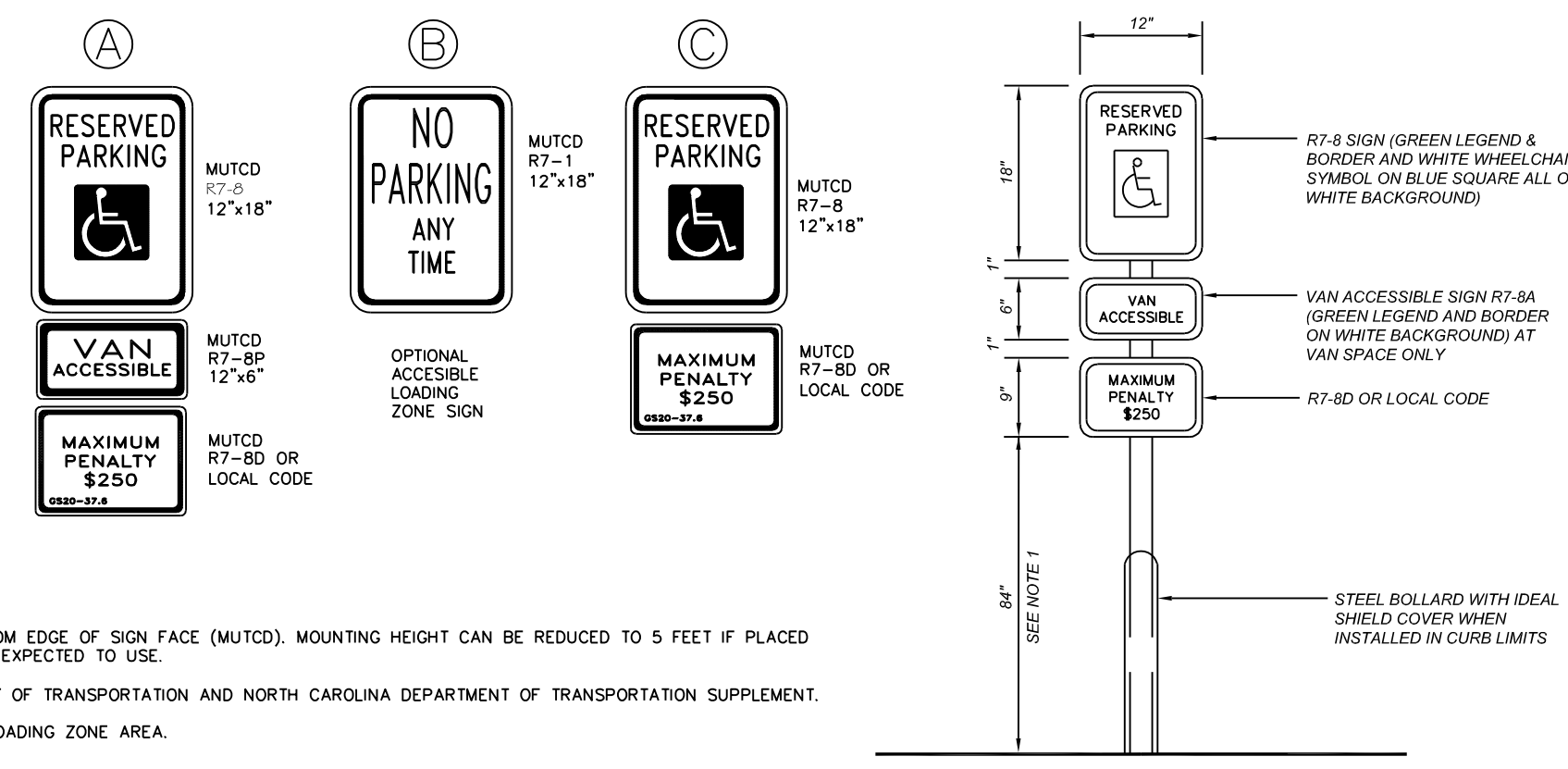


ACCESSIBLE PARKING REQUIREMENTS

TOTAL PARKING SPACES PROVIDED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED	MINIMUM NUMBER OF ACCESSIBLE SPACES REQUIRED TO BE VAN ACCESSIBLE
1 TO 25	1	1
26 TO 50	2	1
51 TO 75	3	1
76 TO 100	4	1
101 TO 150	5	1
151 TO 200	6	1
201 TO 300	7	2
301 TO 400	8	2
401 TO 500	9	2
501 TO 1000	2% OF TOTAL	1 IN EVERY 6 ACCESSIBLE SPACES
1001 AND OVER	20 PLUS 1 FOR EACH 100 OVER 1000	1 IN EVERY 6 ACCESSIBLE SPACES

REFERENCE: SECTION 1106 OF NC STATE BUILDING CODE

- NOTES:
- ALL 12"x18" ACCESSIBLE SIGNS SHALL BE MOUNTED AT 7 FEET FROM GRADE TO BOTTOM EDGE OF SIGN FACE (MUTCD). MOUNTING HEIGHT CAN BE REDUCED TO 5 FEET IF PLACED IN AN AREA BETWEEN SIDEWALK AND BUILDING FACE IN WHICH PEDESTRIANS ARE NOT EXPECTED TO USE.
  - REFER TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) U.S. DEPARTMENT OF TRANSPORTATION AND NORTH CAROLINA DEPARTMENT OF TRANSPORTATION SUPPLEMENT.
  - IF ACCESSIBLE ROUTE IS A RAISED SIDEWALK AREA, THEN RAMPS ARE REQUIRED AT LOADING ZONE AREA.
  - SIGNAGE MUST NOT OBSTRUCT ACCESSIBLE ROUTE OR RAMPS.
  - SIGNAGE TO BE INSTALLED ON STEEL BOLLARD WITH IDEAL SHIELD COVER WHEN INSTALLED INSIDE CURB/ASPHALT LIMITS



ACCESSIBLE PARKING & SIGNAGE  
NOT TO SCALE

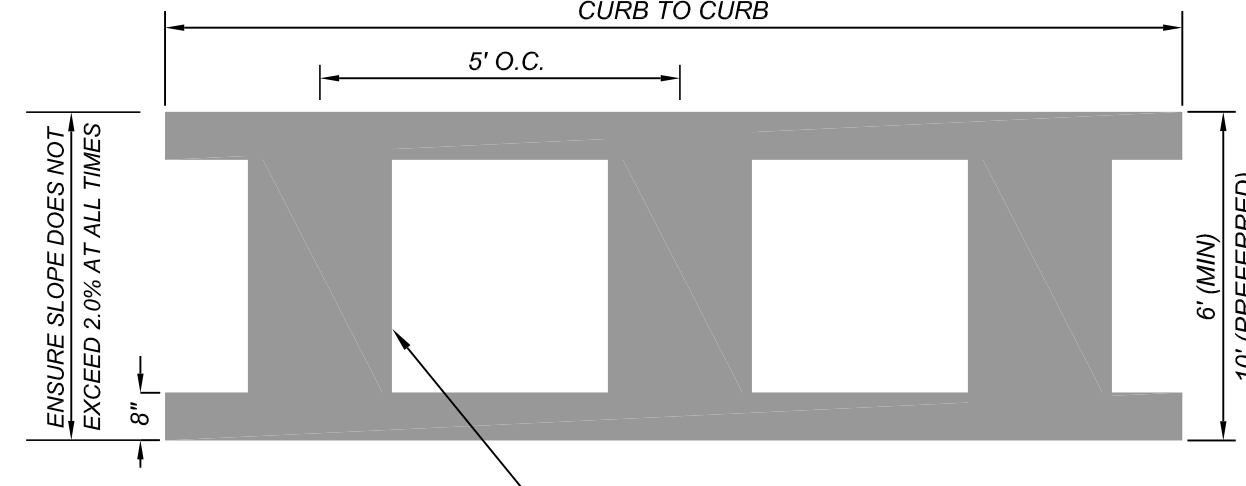
GENERAL SITE NOTES:

- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
- SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE, IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN THE TITLE BLOCK.
- EXTERIOR ACCESSIBLE SIGNAGE (ISA/DIRECTION, SPEECH/HEARING IMPAIRED, ETC.) TO BE INSTALLED BY GENERAL CONTRACTOR IN REQUIRED LOCATIONS PER CODE

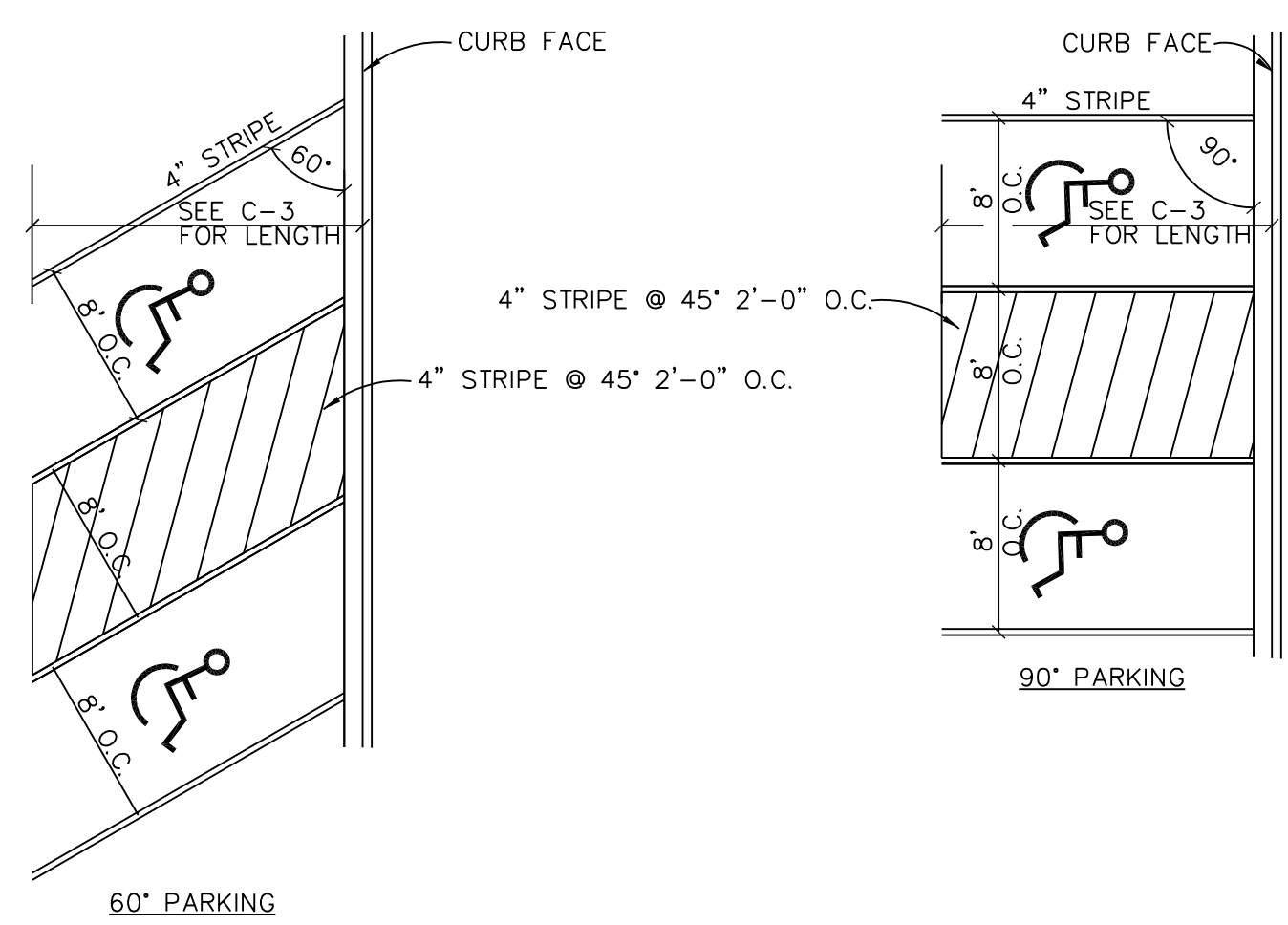
ACCESSIBILITY KEY NOTES:

- INSTALL ACCESSIBLE VAN SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- INSTALL ACCESSIBLE CAR SIGNAGE - SEE THE SPECIFICATION ON THIS SHEET FOR DETAILS
- ACCESSIBLE PARKING SPACES' AND AISLE'S SLOPES NOT TO EXCEED 2.0% IN ANY DIRECTION
- EXTERIOR WALKWAY TO HAVE A SLOPE OF NO MORE THAN 5% AND A CROSS SLOPE OF NO MORE THAN 2.0%
- ACCESSIBLE EGRESS TO GRADE
- ANY CHANGE IN DIRECTION AND/OR INTERSECTION AT A TURN ALONG THE ACCESSIBLE PATH TO HAVE SLOPE AND CROSS SLOPE NO GREATER THAN 2.0%
- CLEAR FLOOR AREA FOR DOOR - LANDING AREA NOT TO EXCEED 2.0% IN ANY DIRECTION

NOTE:  
• 2.00% MAX CROSS SLOPE AND 5.00% MAX LONGITUDINAL SLOPE



ACCESSIBLE CROSSWALK DETAIL  
NOT TO SCALE



ACCESSIBLE PARKING DETAIL  
NOT TO SCALE

LEGEND

- ACCESSIBILITY KEY NOTE
- HANDICAP STALL
- PROPERTY LINE
- SIGN
- BOLLARD
- EX. FIRE HYDRANT
- FENCE
- POLE MOUNTED AREA LIGHT
- PROPERTY CORNER
- FINISH FLOOR ELEVATION
- ADA ACCESSIBLE ROUTE (5.0% MAXIMUM LONGITUDINAL SLOPE, 2.0% MAXIMUM CROSS SLOPE; EXCLUDING RAMPS AND LANDINGS); (48" MINIMUM UNLESS INDICATED OTHERWISE)
- HANDICAP PARKING AREA (2% MAX SLOPE)
- CHANGE IN DIRECTION/INTERSECTION AT TURN (2% MAX SLOPE)
- 60" x (FULL RAMP WIDTH) LANDING AREA (2% MAX SLOPE ANY DIRECTION)
- FLAG POLE

ACCESSIBLE SLOPE CHART

	SLOPE	CROSS SLOPE
PARKING SPACE	2.0% MAX	2.0% MAX
ACCESSIBLE AISLE	2.0% MAX	2.0% MAX
ACCESSIBLE ROUTE	5.0% MAX	2.0% MAX
ACCESSIBLE RAMP	8.3% MAX	2.0% MAX
TOP/BOTTOM LANDING	2.0% MAX	2.0% MAX
DOOR LANDING	2.0% MAX	2.0% MAX
WALKWAY	5.0% MAX	2.0% MAX
CHANGE IN DIRECTION	2.0% MAX	2.0% MAX

NOTE:  
CONTRACTOR TO VERIFY ALL EXISTING SLOPES. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

PROPOSED PARKING INFORMATION

TOTAL SPACES	3	HANDICAP SPACES	9'	X	19'	@	60'
	14	SPACES	9'	X	19'	@	90'
	40	SPACES	9'	X	19'	@	60'
57							

STREET ADDRESS 1415 COMMONWEALTH DRIVE	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PARCEL ID R05612-011-003-000	LOCATION CODE NUMBER 32-0283
TEP PID 92723	FEMA MAP NUMBER 3720315700K
FLOOD ZONE X	FEMA MAP DATE 8/28/2018

APPROVED CONSTRUCTION PLAN

PLANNING	DATE
TRAFFIC	
FIRE	
WILMINGTON PUBLIC SERVICES ENGINEERING DIVISION APPROVED PLAN - NO PERMIT REQUIRED	
Signature:	BY
	ISSUE
	DESCRIPTION
	DATE
0	11-19-18
REV	DATE

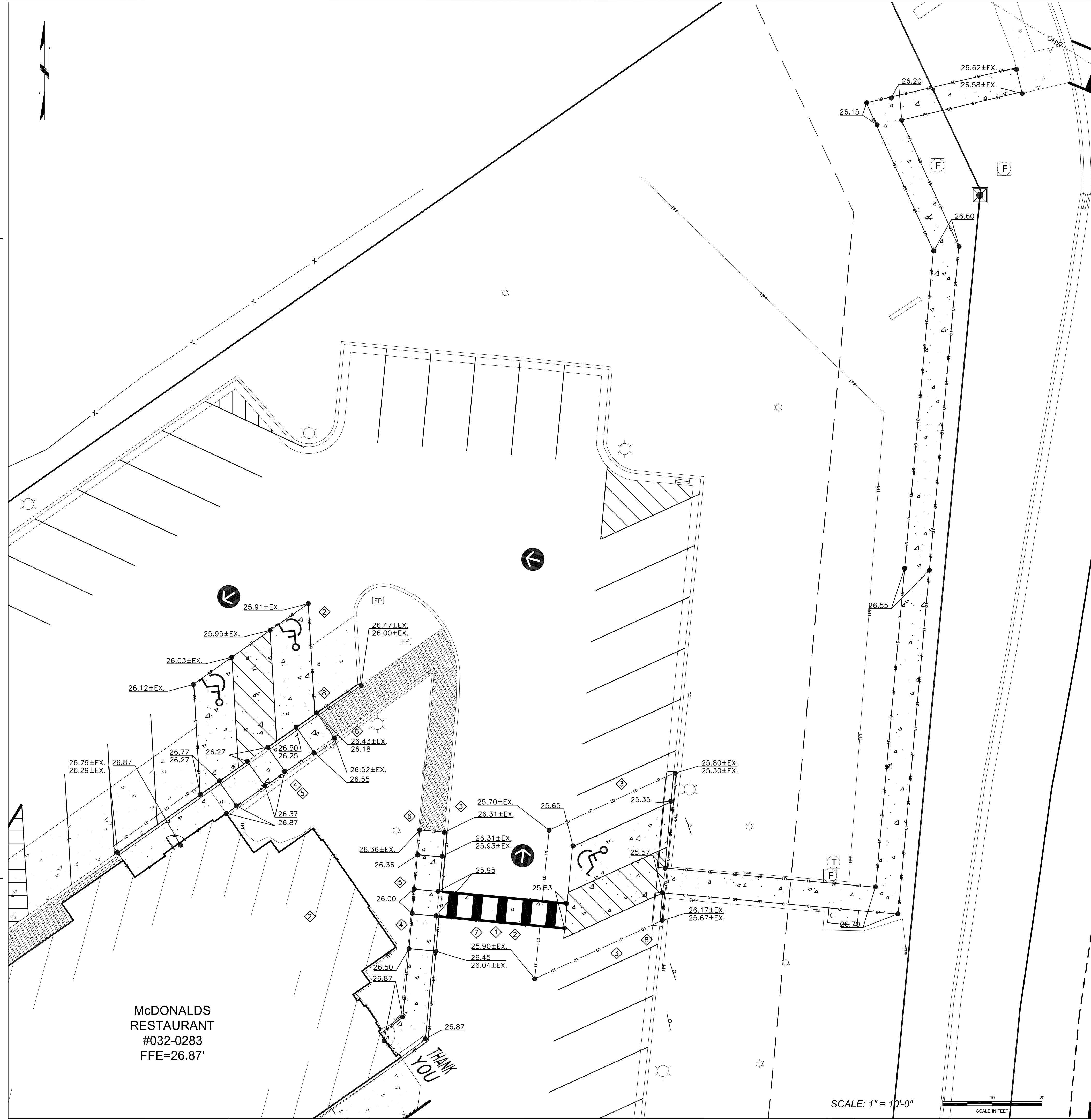
TOWER ENGINEERING PROFESSIONALS  
326 TRYON ROAD  
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OFFICE: (919) 661-6351  
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OFFICE ADDRESS  
4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

DATE	APPROVAL	DATE	BY
	PLAN APPROVAL SIGNATURE (2 REQUIRED)		
	REGIONAL MGR. DIRECTOR		
	REGIONAL CONSTRUCTION MGR.		
	REGIONAL REAL ESTATE MGR.		
	CO-SIGN SIGNATURES		
	AREA CONSTRUCTION MGR.		
	CONTRACTOR		
	STATUS	DATE	BY
	FINAL	-	-
	PLAN CHECKED	-	-
	AS-BUILT	-	-
C-4		ACCESSIBILITY PLAN	



**GRADING/EROSION CONTROL NOTES:**

1. THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES. THE LOCATION OF ALL EXISTING UTILITIES ARE NOT NECESSARILY SHOWN ON THE PLANS AND WHERE SHOWN ARE ONLY APPROXIMATE. THE CONTRACTOR SHALL ON HIS INITIATIVE AND AT NO EXTRA COSTS HAVE LOCATED ALL UNDERGROUND LINES AND STRUCTURES AS NECESSARY. NO CLAIMS FOR DAMAGES OR EXTRA COMPENSATION SHALL ACCRUE TO THE CONTRACTOR FROM THE PRESENCE OF SUCH PIPE, OTHER OBSTRUCTIONS OR FROM ANY DELAY DUE TO REMOVAL OR REARRANGEMENT OF THE SAME. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND STRUCTURES. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL NON-SUBSCRIBING UTILITIES. THE CONTRACTOR(S) SHALL CONTACT NORTH CAROLINA "ONE CALL" AT 1-800-632-4949 OR 811 FOR ASSISTANCE IN LOCATING EXISTING UTILITIES. CALL AT LEAST 72 HOURS PRIOR TO ANY DIGGING.
2. SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY FEMA F.I.R.M. COMMUNITY PANEL SHOWN IN THE TITLE BLOCK.
3. ALL GRADING AND BACKFILLING, EXCAVATING, ETC., SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL INVESTIGATION REPORTS. REFER TO THESE REPORTS FOR ADDITIONAL INFORMATION NOT TRANSFERRED TO THESE PLANS.
4. THE EROSION CONTROL MEASURES ARE TO BE IN PLACE PRIOR TO ANY EARTHWORK.
5. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED AND REPAIRED AT A MINIMUM OF WEEKLY BASIS AND AFTER EVERY RAIN EVENT.
7. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
8. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND EXIT THE SITE VIA THE CONSTRUCTION ENTRANCES.
9. THE APPROXIMATE AREA OF THE LIMITS OF CLEARING, GRADING AND CONSTRUCTION IS 0.13 ACRES.
10. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK.

**GRADING KEY NOTES**

- 1. DUE TO EXISTING SLOPES ON SITE THE SIDEWALK THE LOT WILL HAVE A HIGH POINT. THIS POINT MUST BE ABOVE BELOW THE EXISTING CROSSWALK TO MAINTAIN POSITIVE DRAINAGE AND TIE INTO THE EXISTING PARKING RUNOFF
- 2. SITE CONTRACTOR TO TIE BACK TO EXISTING GRADES AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT THE SITE. CONTACT TEP WITH DISCREPANCIES OR CONCERNS PRIOR TO CONSTRUCTION.
- 3. GRADE LINE TIE-INS ARE APPROXIMATE. CONTRACTOR TO FIELD ADJUST TO MAINTAIN EXISTING DRAINAGE AS REQUIRED.
- 4. SEE SHEET C-4 FOR SLOPE REQUIREMENTS FOR SPECIFIC AREAS AND COMPONENTS NOT SHOWN ON THIS PLAN
- 5. TIE PROPOSED ACCESSIBLE PATH TO EXISTING PUBLIC SIDEWALK
- 6. TIE PROPOSED WALKWAY TO EXISTING. ENSURE RUNNING SLOPE DOES NOT EXCEED 5.0% AND CROSS SLOPE DOES NOT EXCEED 2.0%
- 7. MATCH GRADES AT HIGH SIDE OF CROSSWALK AND ACCESSIBLE PATH GRADE WITH EXISTING TO ENSURE PROPER DRAINAGE. LOW SIDE OF CROSSWALK TO MATCH EXISTING UP TO 2% MAX CROSS SLOPE. RUNNING SLOPE NOT TO EXCEED 5%.
- 8. SITE CONTRACTOR TO CONFIRM EXISTING POSITIVE DRAINAGE IN THIS CORNER. NOTIFY TEP OF PONDING OR RAISE TO DRAIN AROUND EXISTING CURB

**IMPERVIOUS SURFACE AREA**

	AC	%
SITE AREA (LEASED)	1.57	100.0%
<b>PRE-DEVELOPMENT</b>		
PERVIOUS (OPEN SPACE)	0.68	43.4%
TOTAL IMPERVIOUS	0.89	56.6%
ASPHALT/CONCRETE	0.77	49.2%
BUILDING	0.12	7.4%
<b>POST-DEVELOPMENT</b>		
PERVIOUS (OPEN SPACE)	0.66	41.9%
TOTAL IMPERVIOUS	0.91	58.1%
ASPHALT/CONCRETE	0.80	50.8%
BUILDING	0.12	7.4%
Net Change in Impervious Area	1036 sq. ft.	
Net Increase in Impervious Surface Area of	1.5%	

APPROXIMATE LIMITS OF DISTURBANCE MAY VARY BASED OFF SITE SPECIFICS. ADDITIONAL ASPHALT SHALL TRANSITION TO THE EXISTING LOT WITH NO GREATER SLOPE THAN 5% UNLESS NOTED OTHERWISE. CONTACT TEP IN THE EVENT OF ANY SUBSTANTIAL DISCREPANCIES

SLOPES SHOWN INTENDED TO MATCH DRAINAGE ON EXISTING SITE - CONTRACTOR TO VERIFY SLOPES AND DRAINAGE - MODIFY AS REQUIRED

**LEGEND**

- INLET
- WOOD/TREE LINE
- TOP OF CURB
- BOTTOM OF CURB
- SPOT ELEVATION
- HANDICAP PARKING AREA (2% MAX. SLOPE)
- PROPERTY LINE
- SETBACK LINE
- EASEMENT
- F.F.E. = XXXXX FINISH FLOOR ELEVATION
- OHW OVERHEAD UTILITIES
- E UNDERGROUND ELECTRICAL
- SS SANITARY SEWER
- RW RIGHT OF WAY
- SF SILT FENCE OR TREE PROTECTION (WHERE APPLICABLE)
- LD LIMITS OF DISTURBANCE
- SC INLET PORTECTION SEE DETAILS FOR METHODS
- T TELEPHONE LINE
- W WATER LINE
- FP FLAG POLE

**PROPOSED PARKING INFORMATION**

TOTAL SPACES	3	HANDICAP SPACES	9'	X	19'	@	60'
	14	SPACES	9'	X	19'	@	90'
	40	SPACES	9'	X	19'	@	60'

**57**

STREET ADDRESS <b>1415 COMMONWEALTH DRIVE</b>	
CITY <b>WILMINGTON</b>	STATE <b>NORTH CAROLINA</b>
COUNTY <b>NEW HANOVER</b>	
PARCEL ID <b>R05612-011-003-000</b>	LOCATION CODE NUMBER <b>32-0283</b>
TEP PID <b>92723</b>	FEMA MAP NUMBER <b>3720315700K</b>
FLOOD ZONE <b>X</b>	FEMA MAP DATE <b>8/28/2018</b>

PLANNING	APPROVED CONSTRUCTION PLAN
TRAFFIC	NAME
FIRE	DATE
Public Services Engineering Division APPROVED PLAN - NO PERMIT REQUIRED	
Signature:	ISSUER/REF
	BY
	FIRST ISSUE
	DESCRIPTION
	DATE
	REV
	0
	11-19-18
	0

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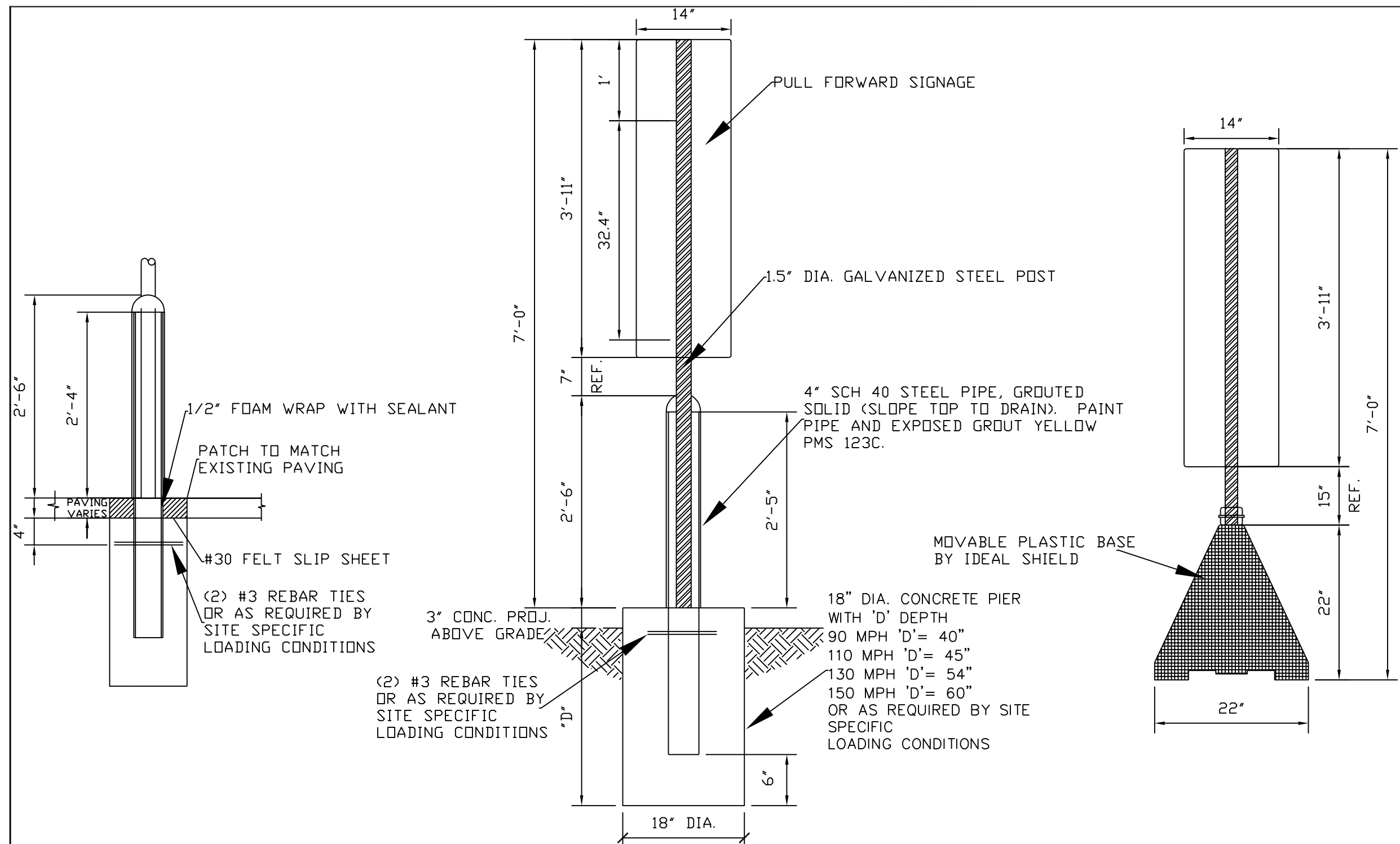
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DATE	PLAN APPROVAL	
	SIGNATURE (2 REQUIRED)	
	REGIONAL MGR. DIRECTOR	
	REGIONAL CONSTR. MGR.	
	REGIONAL REAL ESTATE MGR.	
	CO-SIGN SIGNATURES	
	AREA CONSTRUCTION MGR.	
	CONTRACTOR	
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-
<b>C-5</b>		
GRADING/EROSION PLAN		

McDONALDS RESTAURANT  
 #032-0283  
 FFE=26.87'

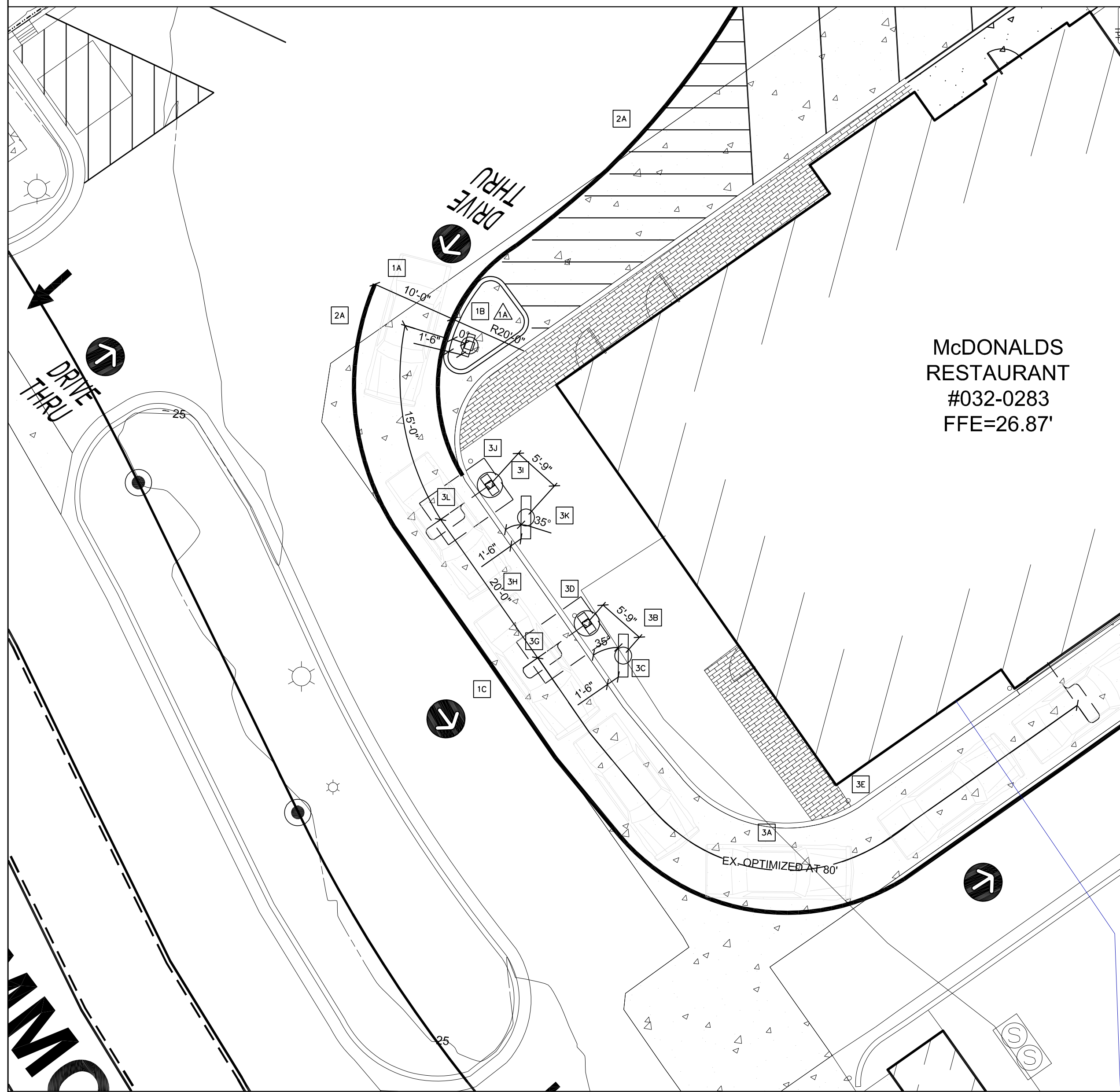
SCALE: 1" = 10'-0"



DIRECT BURIAL IN EXISTING PAVEMENT OPTION

DIRECT BURIAL IN SOIL/LANDSCAPING OPTION

BASE AND POST OPTION



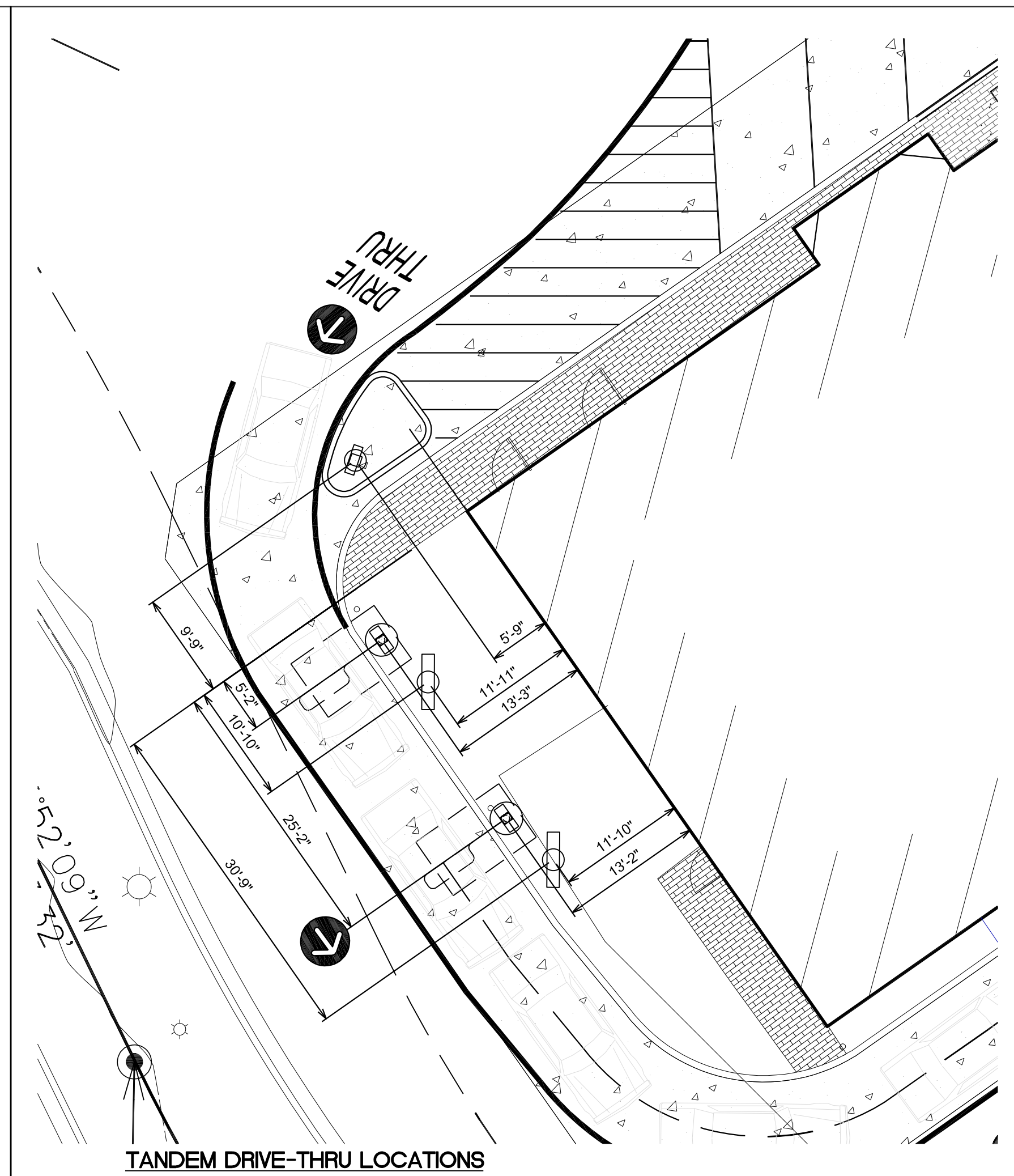
McDONALDS RESTAURANT  
#032-0283  
FFE=26.87'

TANDEM DRIVE-THRU STANDARD

1. TANDEM DRIVE-THRU STANDARD CURBING DETAILS:
  - 1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0". LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0".
  - 1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" TO INSIDE OF CURB.
  - 1C LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER).
2. TANDEM DRIVE-THRU STANDARD PAVEMENT MARKINGS:
  - 2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE.
  - 2B THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE WORD "YOU".
  - 2C THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS.
3. TANDEM DRIVE-THRU STANDARD EQUIPMENT POSITIONING:
  - 3A MIN. 60'-0" (+5', 60'-65") LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE CANOPY FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20'-0" INCREMENTS (±5' FOR 80', 100' AND 120') TO A MAX. OF 120'. 100'-0" IS OPTIMAL. OPTIMIZED AT 60'
  - 3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD NOT LESS THAN 12" FROM FACE OF CURB.
  - 3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° TO 35° ANGLE (35° PREFERRED) FROM A VEHICLE POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY.
  - 3D AUGER "MCDONALD'S ORDER HERE CANOPY" CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB.
  - 3F AUGER "MCDONALD'S GATEWAY" SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 3G THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY CANOPY.
  - 3H THE MIDPOINT OF THE SECONDARY CANOPY FACE IS LOCATED 20'-0" (+2': 20'-22') BACK FROM THE CENTER OF THE PRIMARY CANOPY AS MEASURED ALONG THE FACE OF THE CURB OF THE DRIVE-THRU LANE.
  - 3I THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHALL BE 5'-9" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE CANOPY FOUNDATION, WITH THE END CAP OF THE SECONDARY MENU BOARD NOT LESS THAN 12" FROM FACE OF CURB.
  - 3J AUGER "MCDONALD'S ORDER HERE CANOPY" CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS.
  - 3K THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM A VEHICLE POSITIONED AT THE CANOPY AND WITH 100% VISIBILITY.
  - 3L THE SECONDARY DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE SECONDARY CANOPY.

TANDEM DRIVE-THRU STANDARD 1.0 FEATURES:

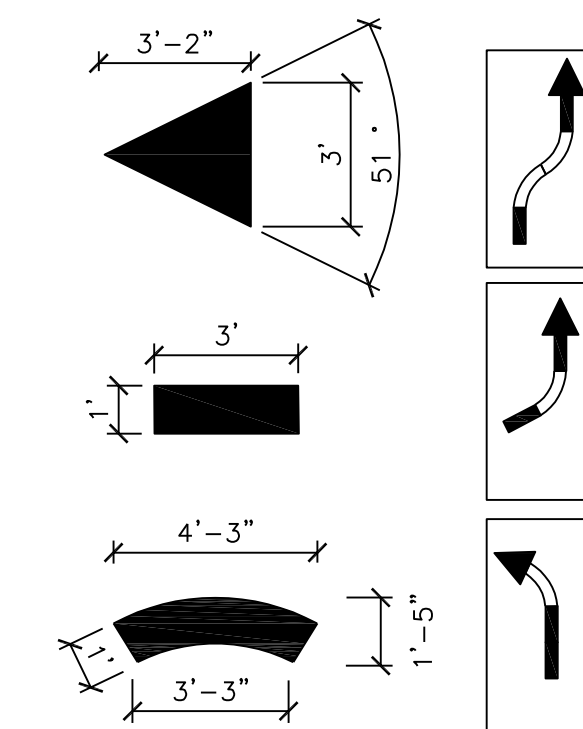
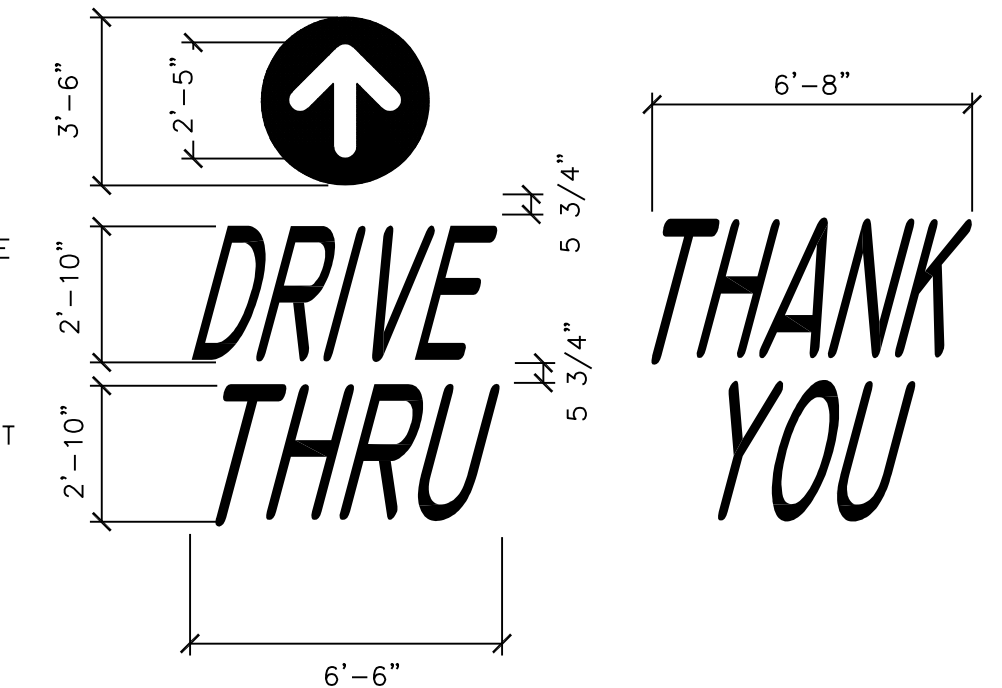
1. TANDEM DRIVE-THRU STANDARD 1.0 EQUIPMENT:
  - 1A PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" TO 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE CANOPY FOUNDATION. THE ANGLE (APPROXIMATELY 50°) OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM THE CANOPY.



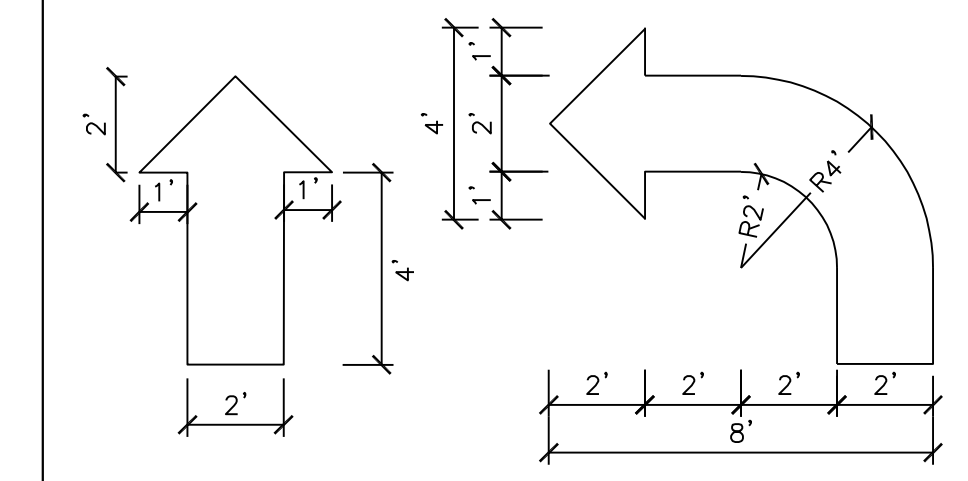
TANDEM DRIVE-THRU LOCATIONS

PAVEMENT BRANDING NOTES:

1. YELLOW PAINT (PMS123) IS USED FOR ALL DRIVE-THRU MARKINGS.
2. THE WORDS 'DRIVE-THRU' AND THE CIRCLE ARROW ARE PLACED AT ALL ENTRANCES TO THE LOT APPROX. 25' TO 30' FROM THE CURB OR SIDEWALK.
3. THE WORDS 'DRIVE-THRU' SHOULD BE CENTERED IN THE DRIVEWAY FOR ONE WAY TRAFFIC (ON THE INGRESS SIDE OF THE DRIVE AISLE IF THERE IS TWO WAY TRAFFIC).
4. THE CIRCLE DIRECTIONAL ARROW SHOULD BE CENTERED ABOVE THE WORD 'DRIVE' APPROX. 5' IN TO THE PARKING LOT.
5. IF FIVE OR MORE ARROWS ARE NEEDED TO DIRECT CARS TO THE DRIVE-THRU, PLAN THE CORRECT PLACEMENT OF THE ARROWS TO INCLUDE THE APPLICATION OF THE WORDS 'DRIVE THRU' WITH AN ARROW CENTERED ABOVE THE WORD 'DRIVE,' ORIENTED TO THE DECISION POINT.
6. THE DOUBLE-HEADED ARROW FOR A SIDE-BY-SIDE DRIVE-THRU SHOULD BE POSITIONED TO DIRECT TRAFFIC TO EITHER LANE. AS CARS APPROACH TO THE ISLAND, EACH ARROW MUST BE CUSTOMIZED TO FIT THE LANE CONFIGURATION.



TRAFFIC & LANE MARKINGS: NOT ASSOCIATED WITH DRIVE-THRU



APPLY TWO COATS OF WATERBORNE PAINT (PER FS TT-P-1952) OR SOLVENT BORNE PAINT (PER FS A-A-2886 OR AASHTO M248). TRAFFIC-LANE MARKING PAINT OVER CLEANED PAVING SURFACE ACCORDING TO LAYOUT SHOWN ON THE SITE PLAN. PAINT WHITE OR AS REQUIRED BY CITY CODE.

NOTES:

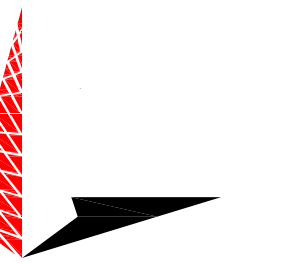
1. ALL PAINT MARKINGS TO BE APPLIED TO ASPHALT WHEN OUTDOOR TEMPERATURE EXCEEDS +8° MINIMUM.
2. ALL PARKING STALL MARKINGS SHALL BE PAINTED WHITE.
3. ALL DRIVE-THRU MARKINGS SHALL BE PAINTED YELLOW (PMS123), INCLUDING 'DRIVE THRU,' 'THANK YOU,' ALL DIRECTIONAL ARROWS AND DRIVE THRU LANE MARKINGS.
4. BROADCAST GLASS BEADS UNIFORMLY INTO WET PAVEMENT MARKINGS AT A RATE OF 6LB/GAL.
5. CONTACT: "PAVEMENT STENCIL COMPANY" P.O. BOX 915755 LONGWOOD, FLORIDA 32791 PHONE: 1-800-250-5547

STREET ADDRESS 1415 COMMONWEALTH DRIVE	
CITY WILMINGTON	STATE NORTH CAROLINA
COUNTY NEW HANOVER	
PARCEL ID R05612-011-003-000	LOCATION CODE NUMBER 32-0283
TEP PID 92723	FEMA MAP NUMBER 3720315700K
FLOOD ZONE X	FEMA MAP DATE 8/28/2018

APPROVED CONSTRUCTION PLAN NAME DATE

PLANNING  
TRAFFIC  
FIRE  
WILMINGTON  
Public Services Engineering Division  
APPROVED PLAN - NO PERMIT REQUIRED  
Signed: \_\_\_\_\_

REV	DATE	DESCRIPTION	ISSUED BY
0	11-19-18	FIRST ISSUE	



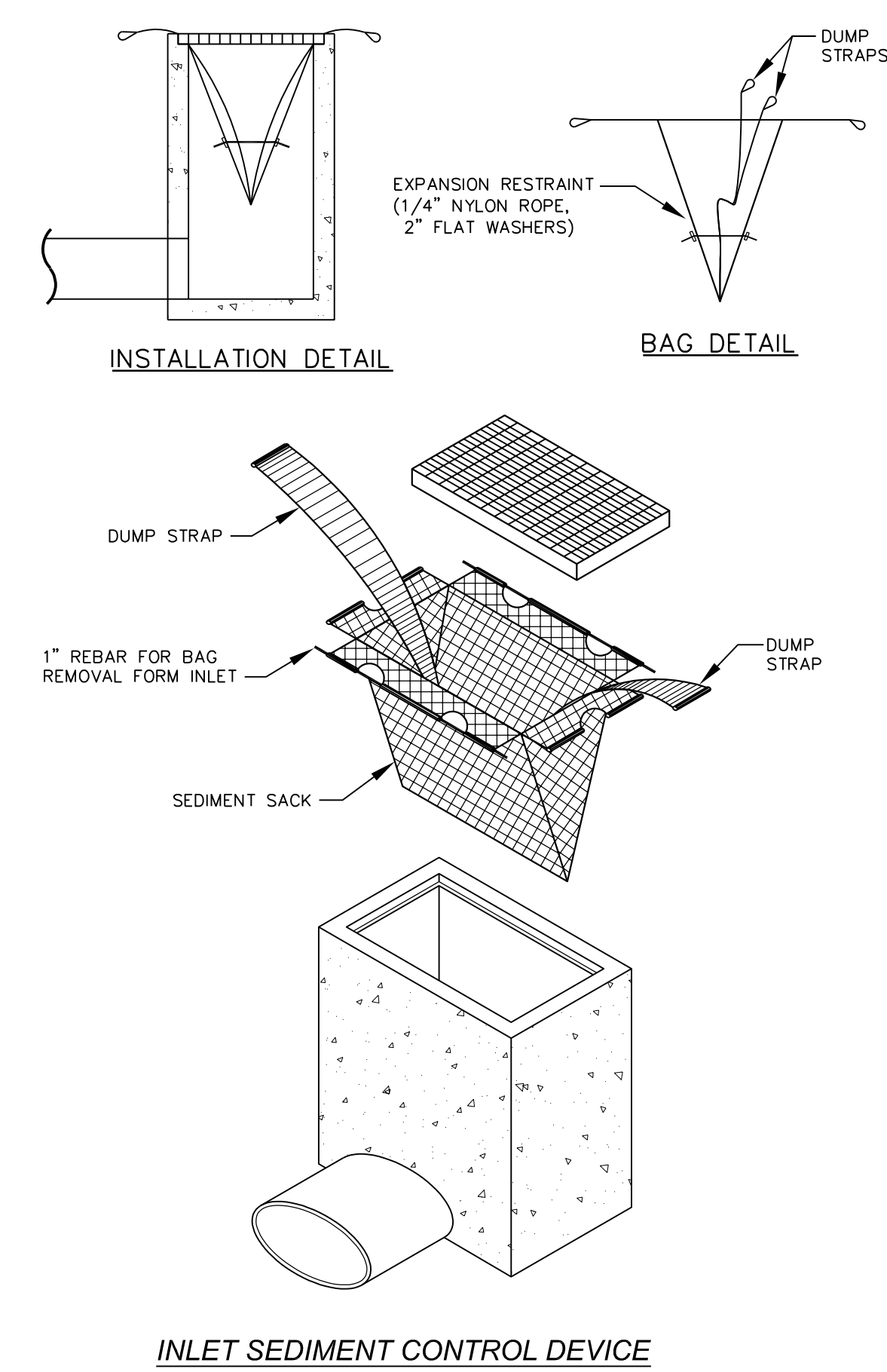
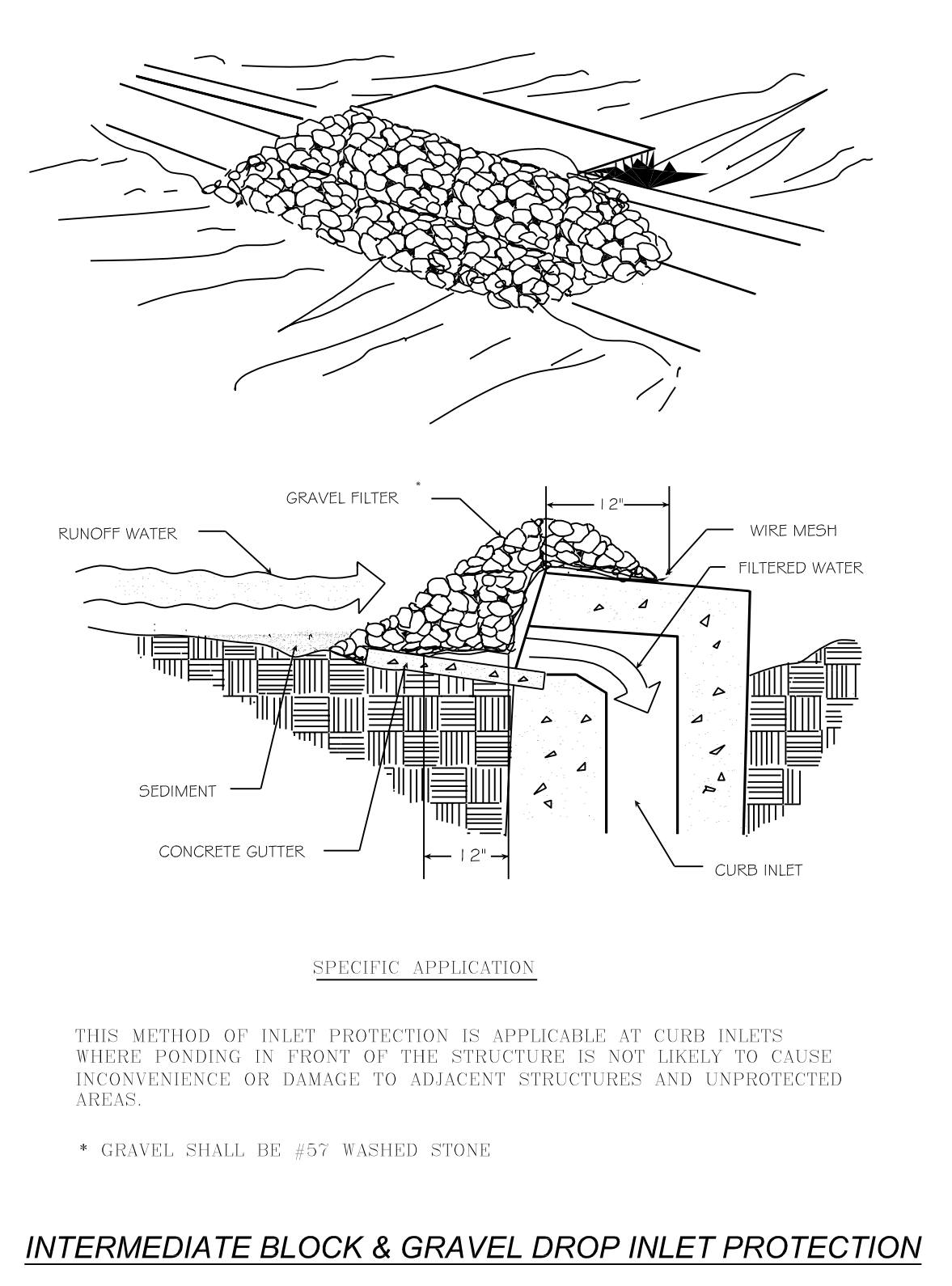
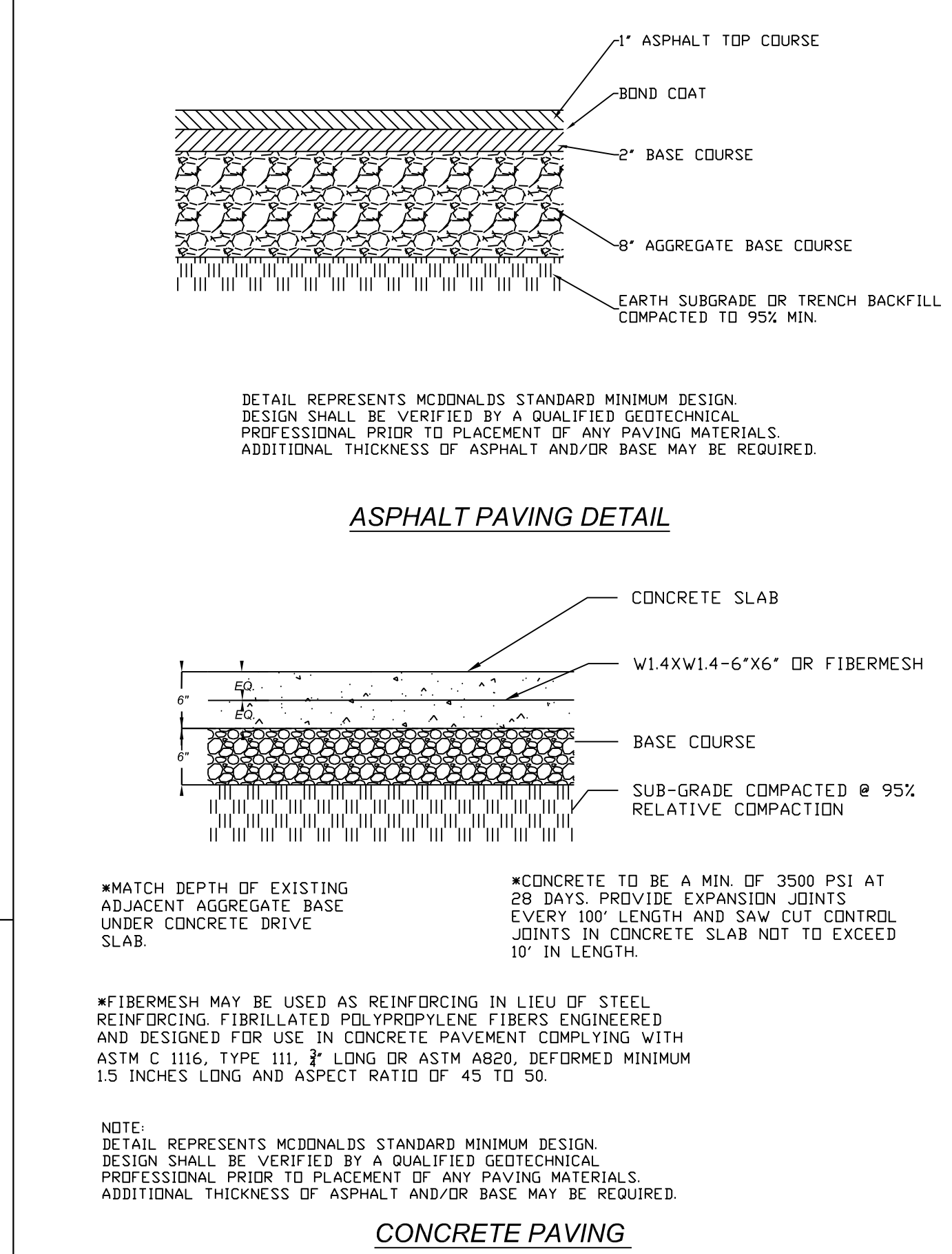
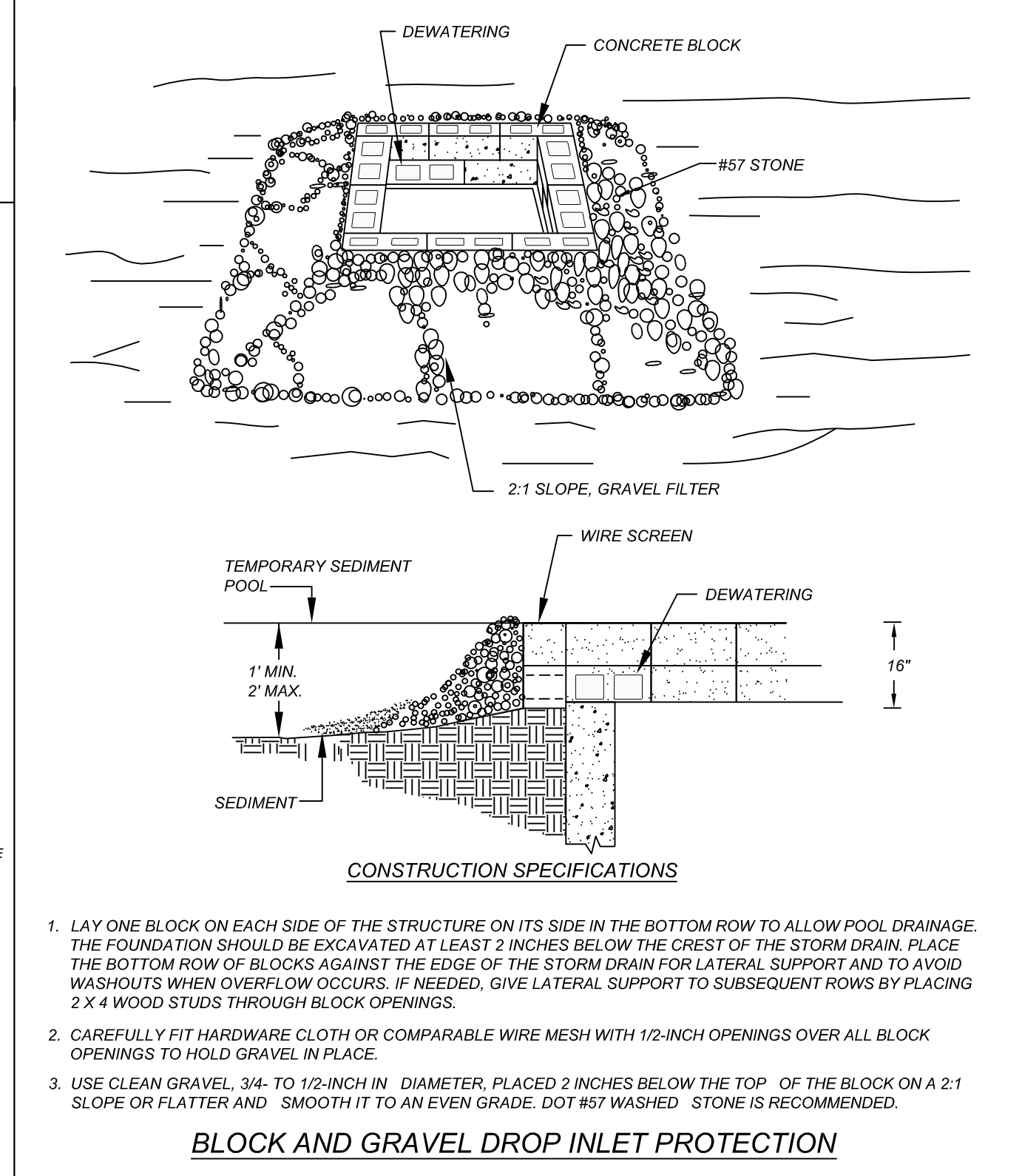
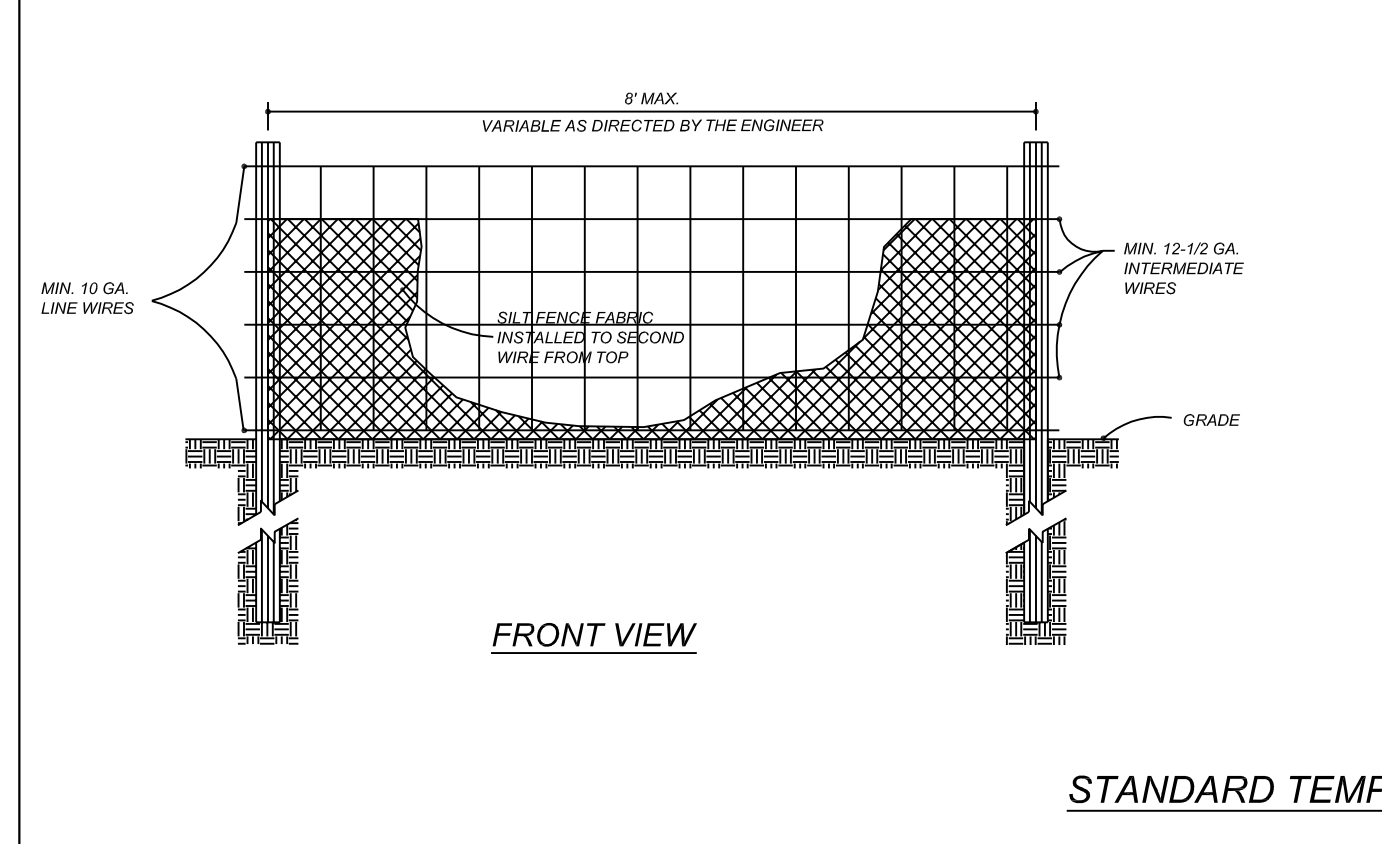
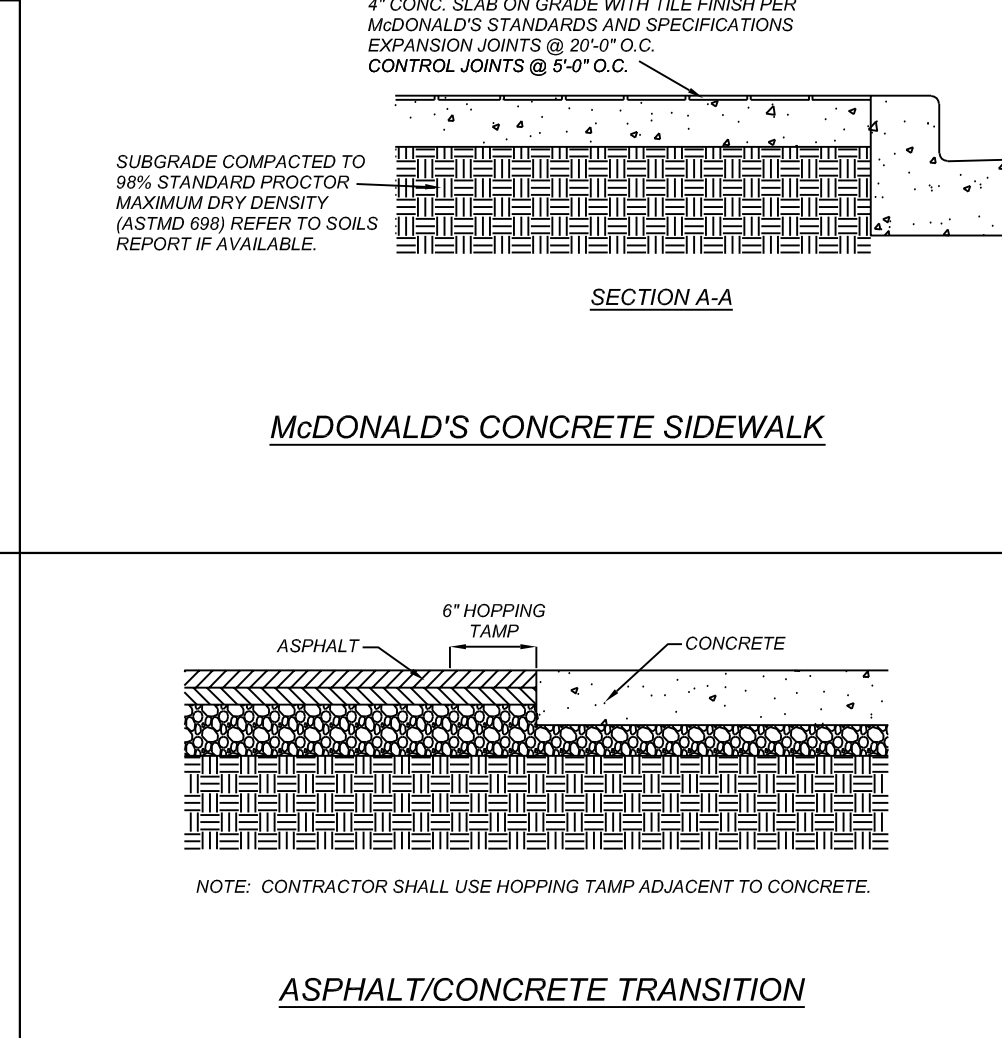
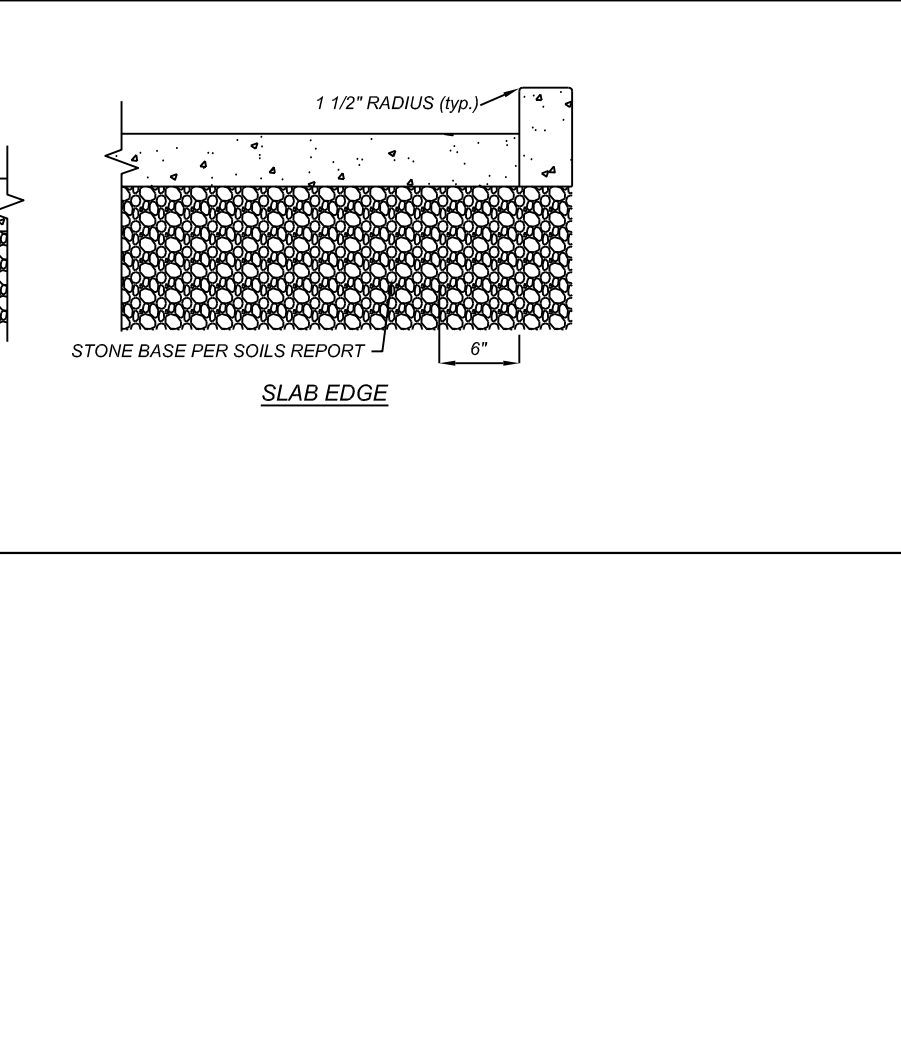
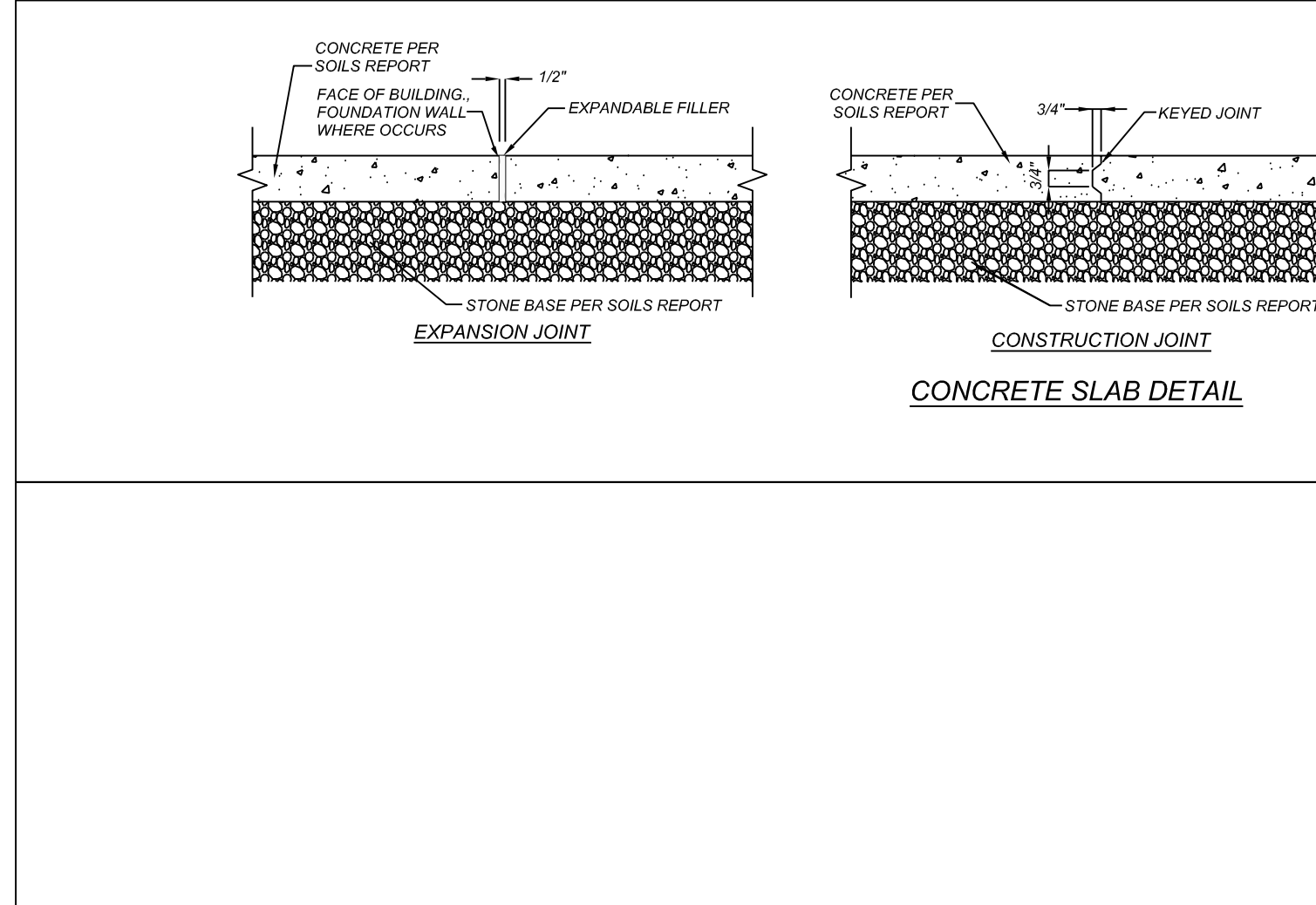
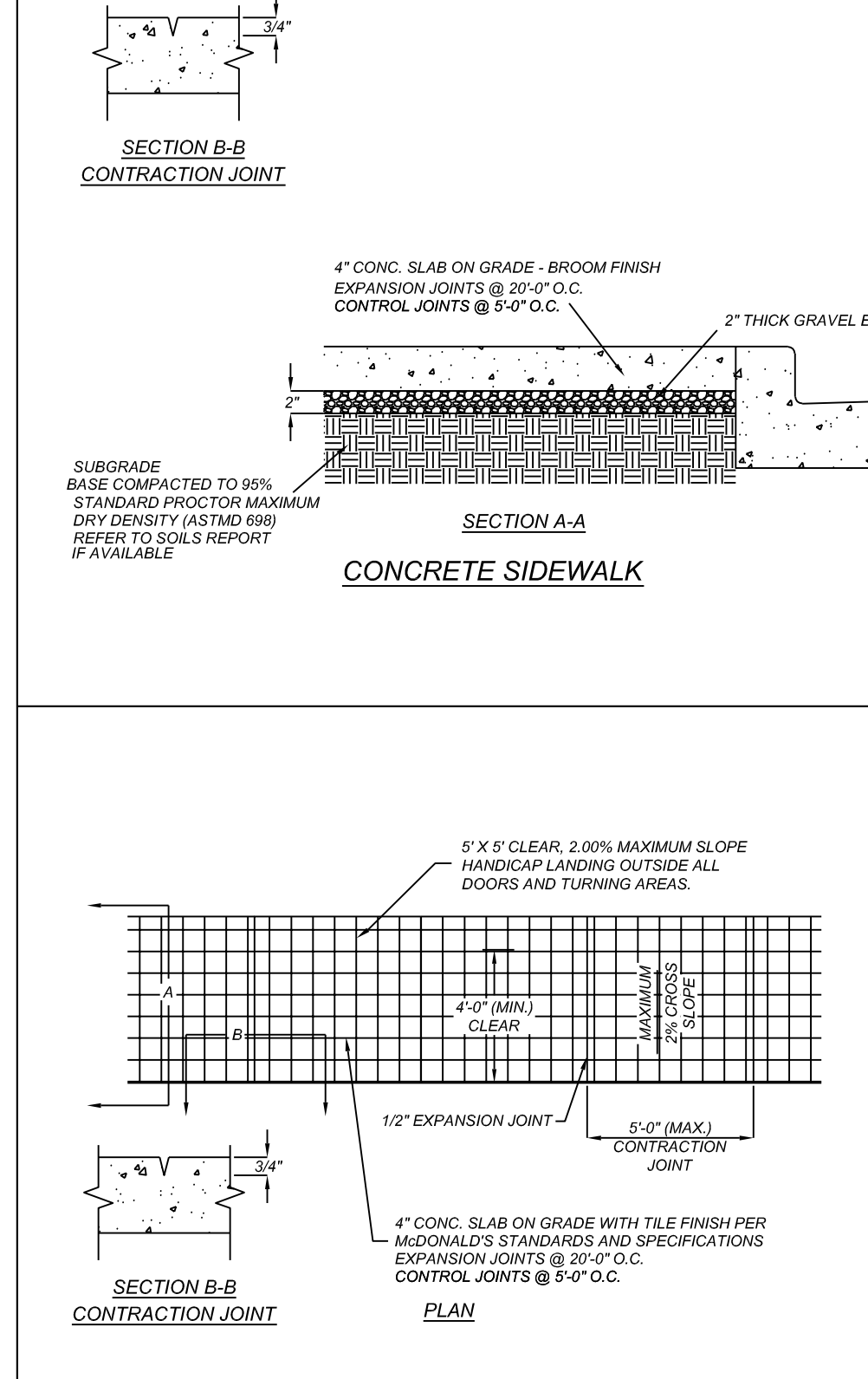
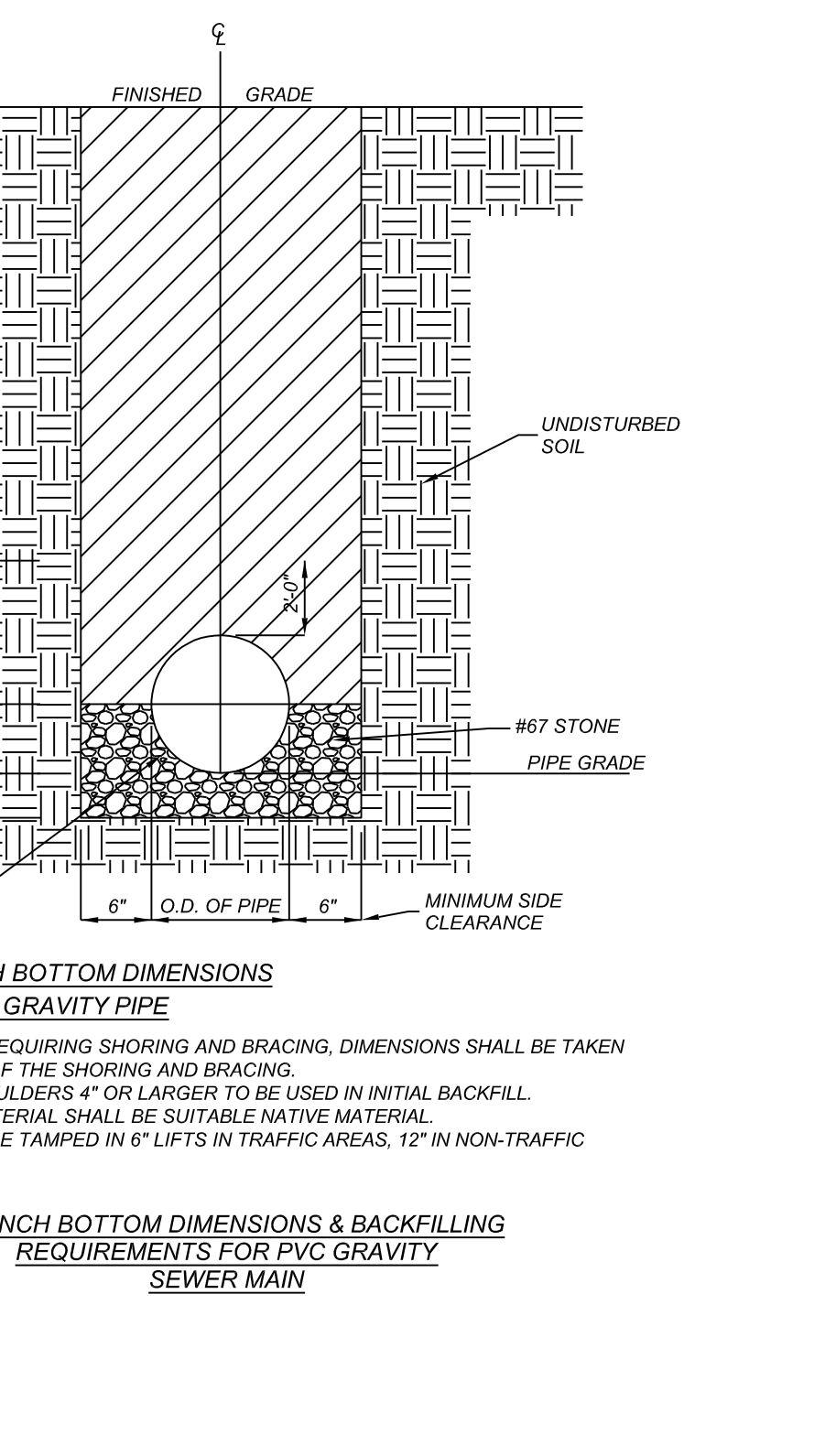
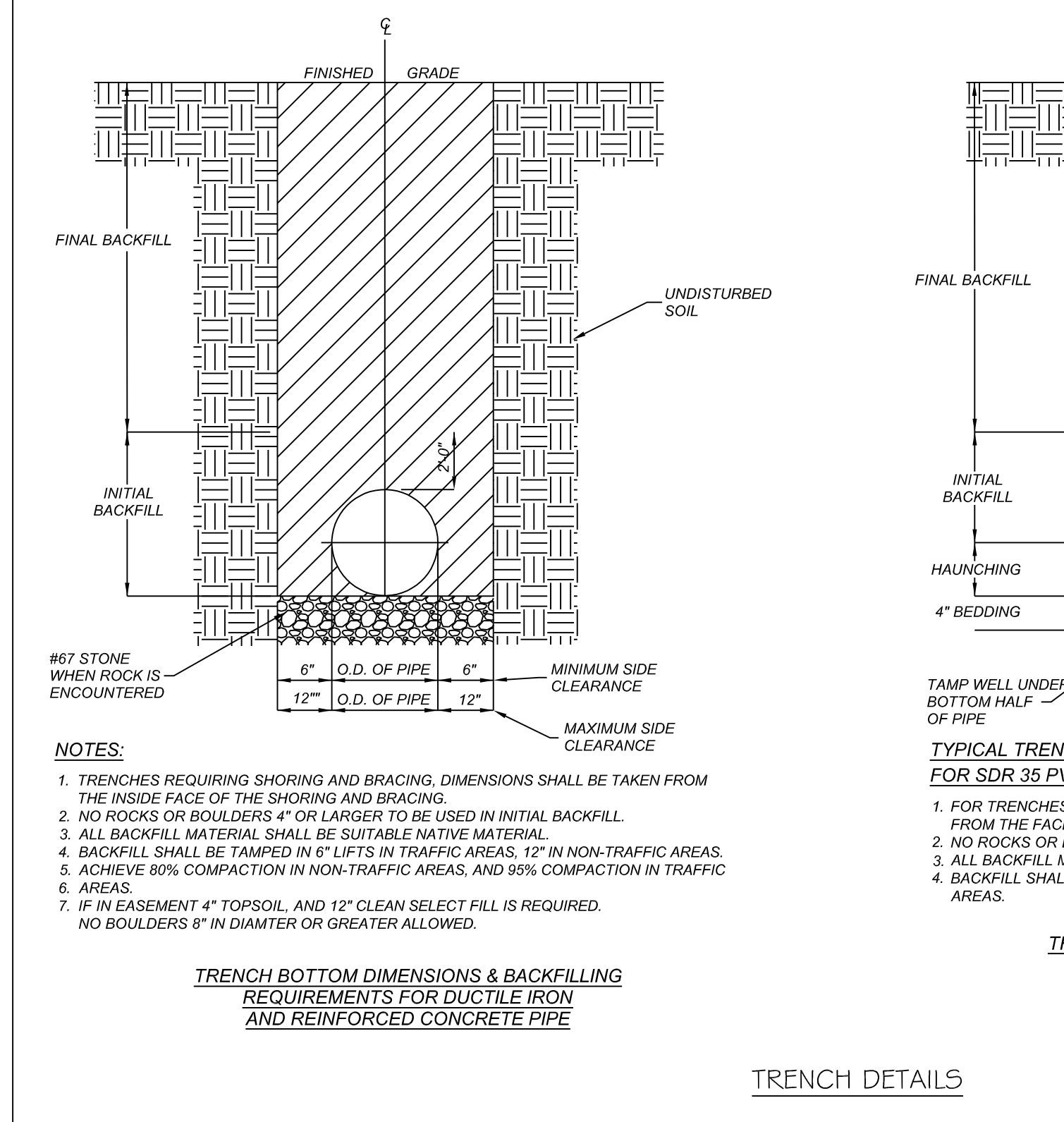
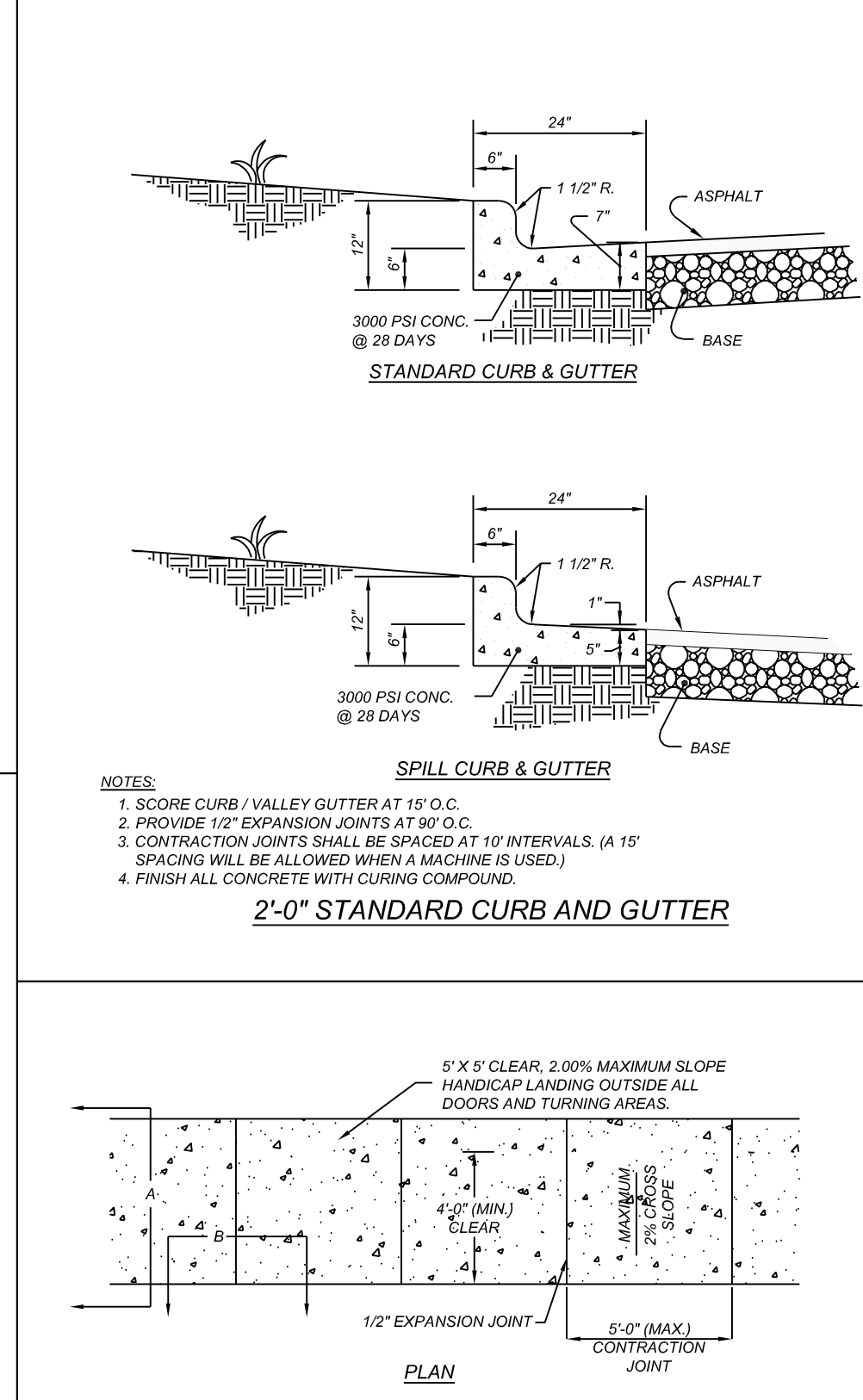
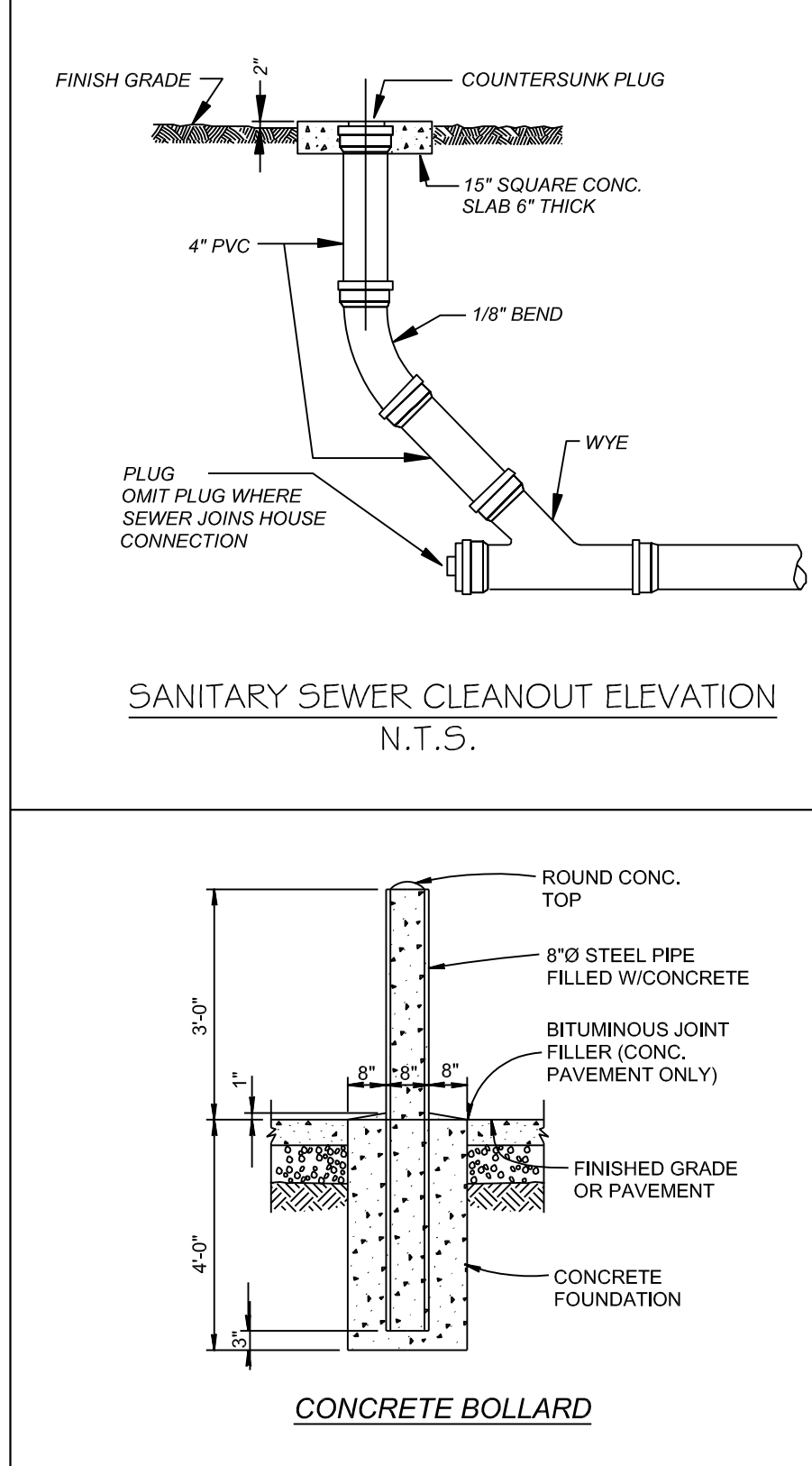
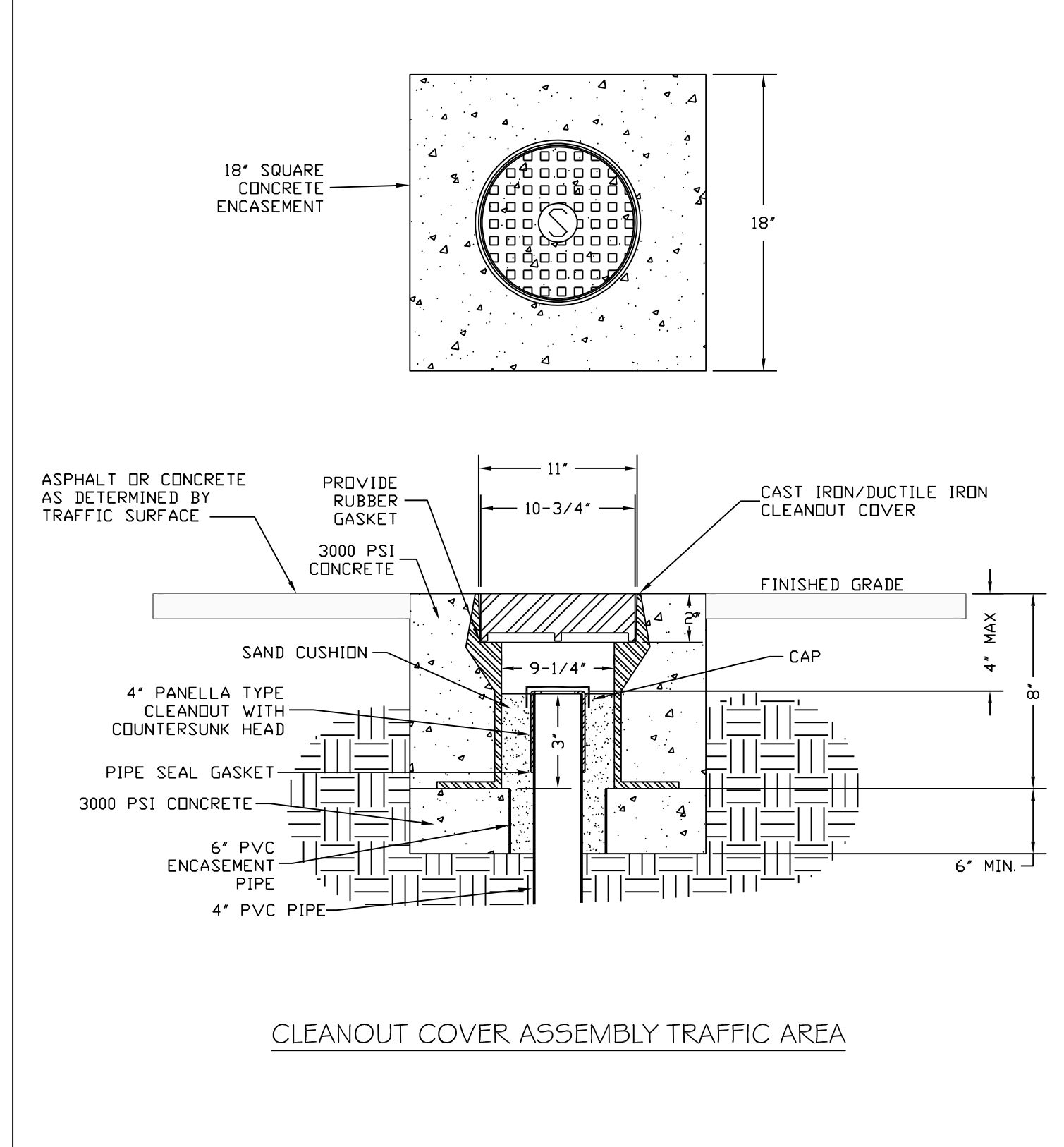
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OFFICE: (919) 661-6351  
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N.C. LICENSE # P-1403

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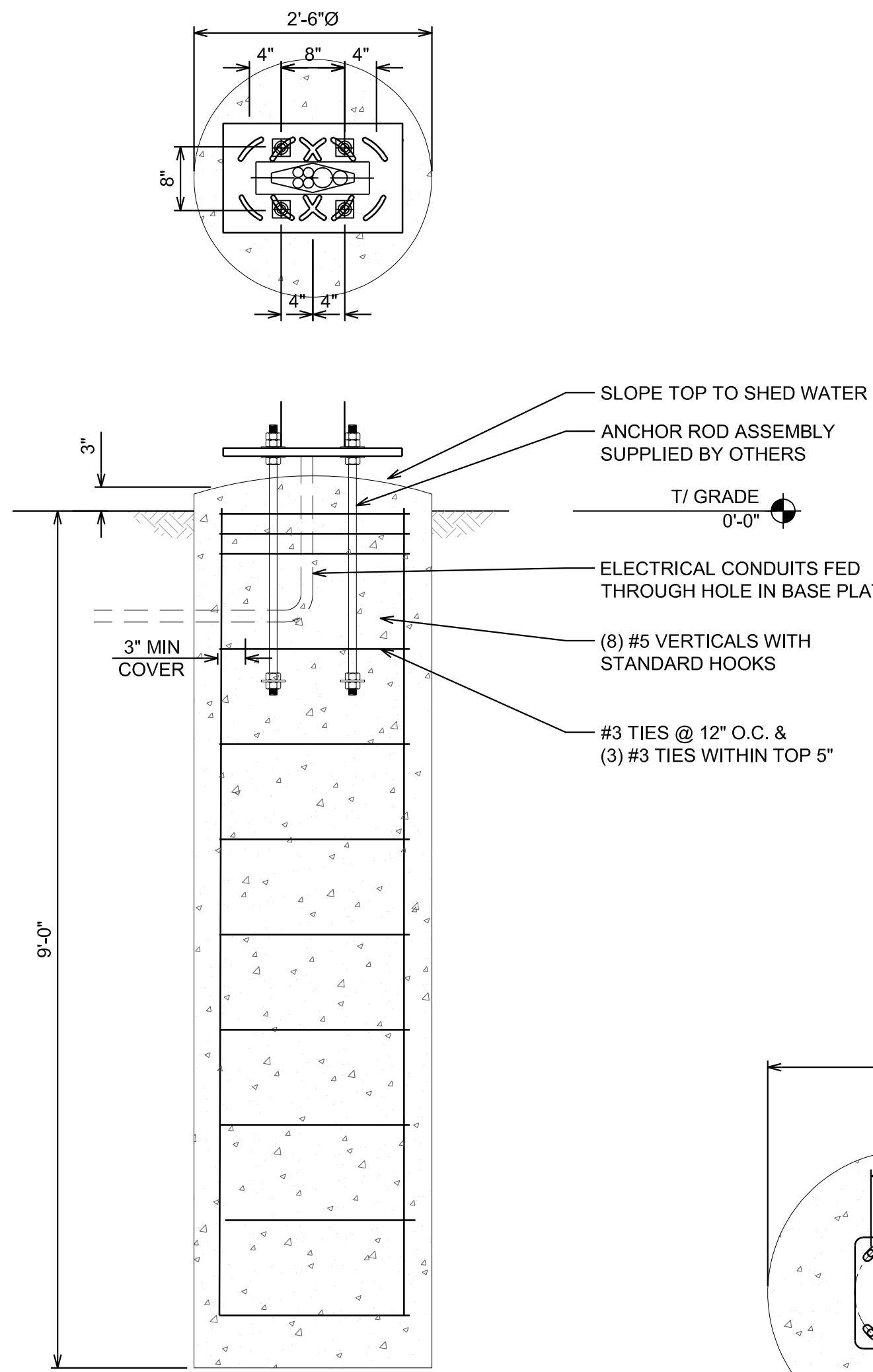
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DATE	APPROVAL	STATUS	DATE	BY
	PLAN APPROVAL SIGNATURE (2 REQUIRED)	FINAL	-	-
	REGIONAL MGR. DIRECTOR	PLAN CHECKED	-	-
	REGIONAL CONSTRUCTION MGR.	AS-BUILT	-	-
	REGIONAL REAL ESTATE MGR.			
	CO-SIGN SIGNATURES			
	AREA CONSTRUCTION MGR.			
	CONTRACTOR			

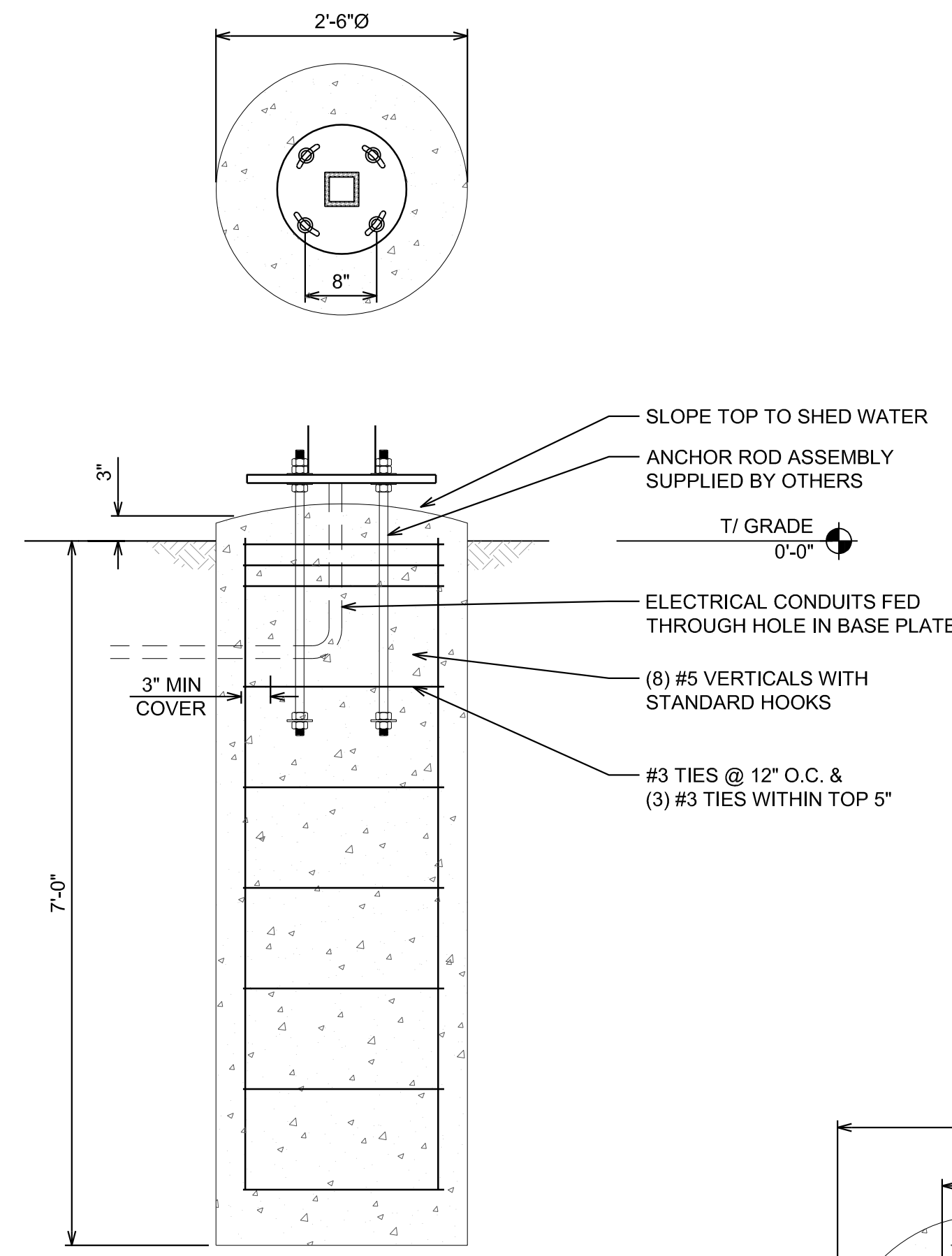
C-6  
DRIVE THRU PLAN & DETAILS



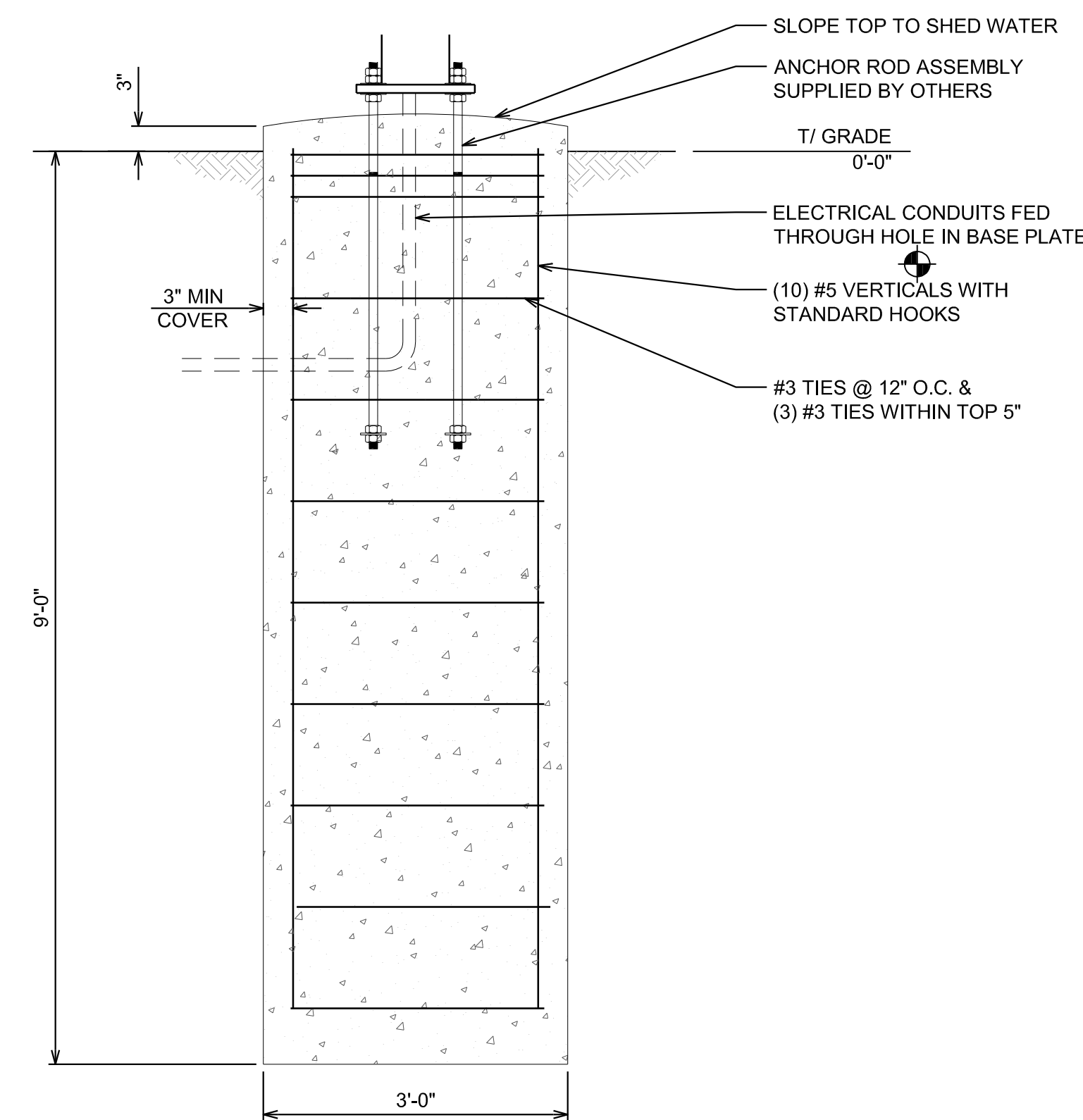
APPROVED CONSTRUCTION PLAN		NAME	DATE
PLANNING	TRAFFIC		
FIRE			
WALTON ENGINEERS		Public Services Engineering Division	
APPROVED PLAN - NO PERMIT REQUIRED		Signed: _____	
		BY	ISSUE/REF
		FIRST ISSUE	DESCRIPTION
		0	11-19-18
		REV	DATE
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DATE	DATE	DATE	DATE
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REGIONAL MGR.	REGIONAL MGR.	REGIONAL MGR.	REGIONAL MGR.
REGIONAL CONSTRUCTION MGR.	REGIONAL CONSTRUCTION MGR.	REGIONAL REAL ESTATE MGR.	REGIONAL REAL ESTATE MGR.
CO-SIGN SIGNATURES	AREA CONSTRUCTION MGR.	CONTRACTOR	
STATUS	DATE	BY	
FINAL	-	-	
PLAN CHECKED	-	-	
AS-BUILT	-	-	
C-7 DETAILS			



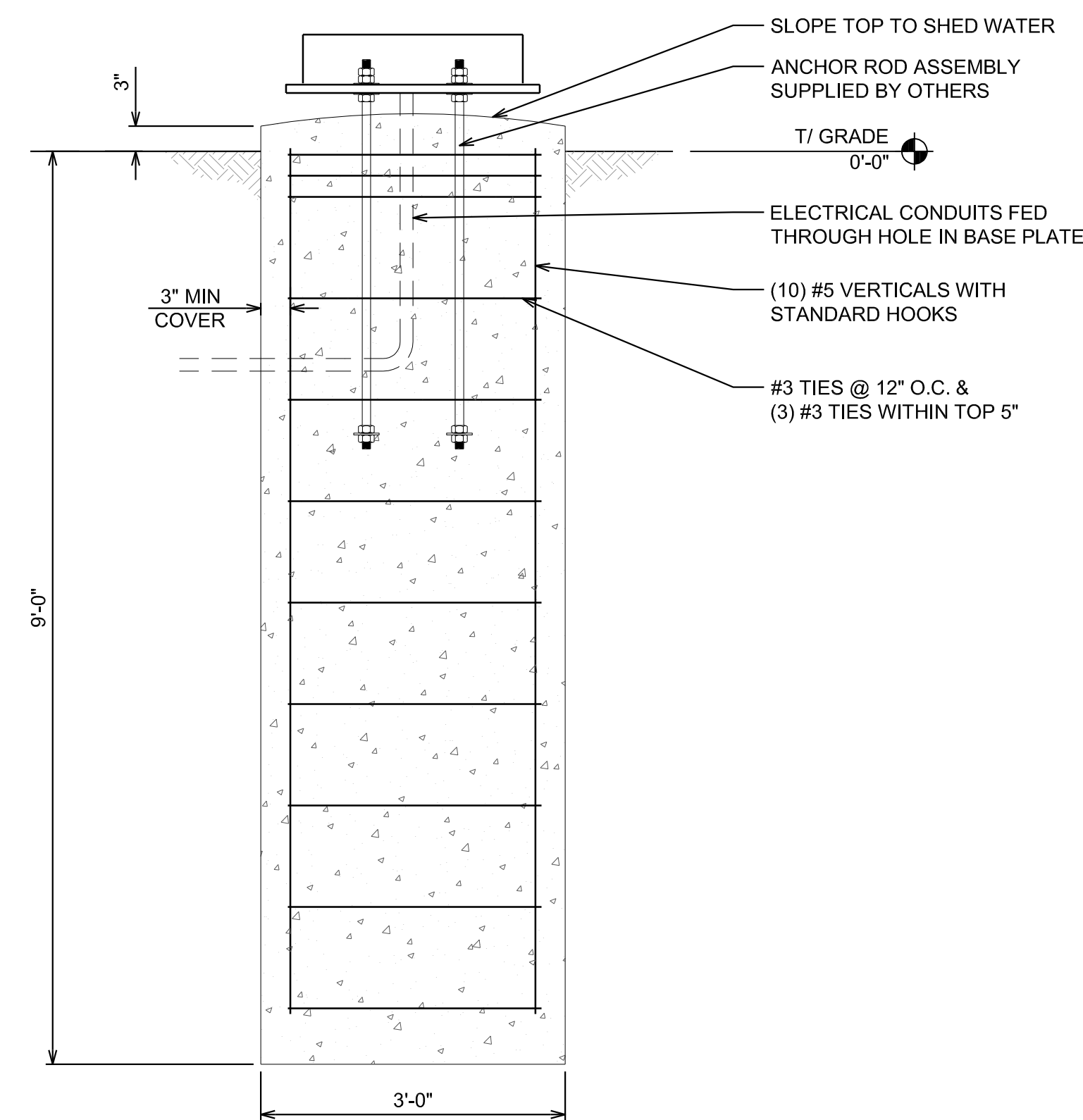
DIGITAL MENU BOARD



PRE BROWSE BOARD



GATEWAY



ORDER HERE CANOPY

## GENERAL NOTES

- THE FOLLOWING CODES WERE USED IN DESIGN:
  - NBC 2012
  - ASCE 7-05
  - ACI 318-08
  - AISC 13th EDITION
  - AWS D1.1
- WIND SPEED 132 MPH (MPH 3-SEC GUST)
- EXPOSURE C

- ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE
- MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)
- MINIMUM SOIL BEARING PRESSURE OF 1,500 PSF
- SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.
- TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)

- ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

### CONCRETE:

- ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
- ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- MINIMUM CONCRETE STRENGTH ( $f_c=3,000$  PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6
- AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A
- WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A
- FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14
- PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
- REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
- ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
- DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

### STEEL:

- STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B ( $F_y=35$ ksi)
- HSS ROUND SECTION: ASTM A500 GRADE B ( $F_y=42$ ksi)
- HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B ( $F_y=46$ ksi)
- HEADED ANCHOR RODS: ASTM F1554 GR 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZATION.
- STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
- REINFORCEMENT: ASTM A615 GRADE 60 - BY GENERAL CONTRACTOR
- NUTS: ASTM A563A, HEAVY HEX
- WASHERS: ASTM F844 A36
- USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
- DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE
- AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
- ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

- REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
- CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
- DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS
- ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER

### NOTES:

- TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
- DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE

APPROVED CONSTRUCTION PLAN	
NAME	DATE
PLANNING	
TRAFFIC	
FIRE	
 Public Services Engineering Division APPROVED PLAN - NO PERMIT REQUIRED	
Signature:	
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**TOWER ENGINEERING PROFESSIONALS**  
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 RALEIGH, NC 27603  
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November 19, 2018

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OFFICE: RALEIGH REGION  
 ADDRESS: 4601 SIX FORKS ROAD - SUITE 200 - RALEIGH, N.C. 27609

PLAN APPROVAL	DATE	
SIGNATURE (2 REQUIRED)		
REGIONAL MGR. DIRECTOR		
REGIONAL CONSTRUCTION MGR.		
REGIONAL REAL ESTATE MGR.		
CO-SIGN SIGNATURES		
AREA CONSTRUCTION MGR.		
CONTRACTOR		
STATUS	DATE	BY
FINAL	-	-
PLAN CHECKED	-	-
AS-BUILT	-	-



